



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

**TUOLUMNE COUNTY PLANNING COMMISSION
BOARD OF SUPERVISORS CHAMBERS, 4TH FLOOR
COUNTY ADMINISTRATION CENTER
2 SOUTH GREEN STREET
October 5, 2022
6:00 p.m.***

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 536-1622 (Fleet)
(209) 533-5616 (fax)
(209) 533-5909 (fax – EHD)
(209) 588-9064 (fax – Fleet)
(209) 533-5698 (fax - Roads)
www.tuolumnecounty.ca.gov

PUBLIC PARTICIPATION PROCEDURES

- In order to protect public health and the safety of Tuolumne County citizens, the Tuolumne County Planning Commission Meeting will meet In Person with the option to attend Via Zoom. Public Comment will be opened and closed individually for each agenda item listed below, excluding Reports. If you need swift special assistance during the Planning Commission meeting, please call the following number: **209-770-5423**

How to participate and speak to the Tuolumne County Planning Commission at the meeting.

- Attend the meeting in the Board of Supervisors chambers on the fourth floor of 2 S. Green St. In Sonora and comment during the “Public Comment” period.
- Attend the meeting virtually on Zoom using the following link and comment using the “raised hand” feature during the “Public Comment” period.
 - Use the link to join the webinar: <https://us02web.zoom.us/j/81659395660>
- Attend the meeting by telephone using the following link and comment using *9 (star 9) to “raised hand” feature during the “Public Comment” period.
 - <https://www.tuolumnecounty.ca.gov/AgendaCenter/Tuolumne-County-Planning-Commission-8>.

You also may submit written comments by U.S. mail at 2 South Green Street, Sonora, CA 95370 or email (CDD@tuolumnecounty.ca.gov) for retention as part of the administrative record. Comments will not be read during the meeting.

PLANNING COMMISSION BUSINESS: 6:00 p.m.

1. Adopting Resolution PC2022-007 authorizing remote teleconference meetings of TCPC for the period of October 5, 2022, to November 4, 2022

*** The doors to the Administration Building will be opened at 5:30 p.m.**

2. Reports from Commissioners and Staff

**** Reports are a brief oral report from a Committee or Commission member and/or County staff, and no Committee or Commission action will occur. This item is not intended to include in depth presentations or reports, as those matters should be placed on an agenda for discussion****

3. Report from the Board of Supervisors Planning Committee Representative

4. Report from the Agricultural Advisory Committee Representative

5. Minutes of the Meeting of September 7, 2022

PUBLIC COMMENT: 15 minutes

The public may speak on any item not on the printed agenda. No action may be taken by the Commission.

PUBLIC HEARING: 6:00 p.m.

NEW ITEMS:

- 1. CA DRILLING & BLASTING CO, INC.,** Conditional Use Permit CUP22-008 to allow the use of a commercial coach on a 69.45± acre parcel zone M-2 (Heavy Industrial) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

The project site is located at 5405 O'Byrnes Ferry Road, approximately 1.5± miles southwest of the intersection of State Highway 120/108 and O'Byrnes Ferry Road, in the community of Jamestown. Within a portion of Section 3, Township 1 South, Range 13 East, Mountain Diablo Baseline and Meridian and within Supervisorial District 5. Assessor's Parcel Number 063-160-025.

2. GRAY,

1. Zone Change RZ21-013 to rezone a 0.19± acre parcel from C-1:D:H:HDP:MX (General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) to M-U (Mixed Use): D:H:HDP:MX combining under Title 17 of the Tuolumne County Ordinance Code (TCOC).
2. Site Development Permit SDP21-007 to allow construction and/or expansion of an existing gas station, construction of new restrooms, restoration and conversion of a previous restroom facility, development of new parking area, outdoor patio area, fencing, new utility connections and associated infrastructure, for an intended retail commercial use.
3. Historic Conditional Use Permit CUPH21-002 to allow exterior alterations and demolition within the subject parcel per Chapter 17.44 (:H) and Chapter 17.45 (:HDP) of the TCOC.

The project site is located at 18211 and 18223 Main Street in the community of Jamestown, on the northeast corner of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

The Minutes, Staff Reports, and environmental documents for the items referenced in this Agenda are available for review at the Tuolumne County Community Development Department Monday through Thursday, 8:00 a.m. 3:00 p.m., Fourth Floor, A.N. Francisco Building, 48 Yaney, Sonora,

California, and online at www.tuolumnecounty.ca.gov.

Any other materials related to the items referenced in this Agenda that are provided by the County to the Planning Commissioners prior to the meeting are available for review at the Tuolumne County Community Development Department 48 Yaney, Sonora, California, and will be available at the meeting. Any materials provided to the Planning Commissioners during the meeting by the County will be available for review at the meeting, and materials provided by the public will be available for review at the Community Development Department the day following the meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Community Development Department at (209) 533-5633. Notification 48 hours prior to the meeting will enable the County to make reasonable arrangements to ensure accessibility to this meeting (28CFR Part 35 ADA Title II).

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COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

TO: Tuolumne County Committee and Commission Members

FROM: Quincy Yaley, AICP Community Development Department Director

RE: COVID-19 Meeting Procedures

48 Yaley Avenue, Sonora
Mailing: 2 S. Green Street
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In response to increasing risks of exposure to the coronavirus (COVID-19), all the Committee and Commission meetings will be conducted and participated via Zoom. Video conferencing via Zoom will allow the Commission/Committees and County to adhere to social distancing requirements of the Brown Act and provide a way for the public to provide public comment live during the meeting.

Due to the modified meeting format and tele-conferencing meeting procedures, the Chair may choose to allow public comment on the project in an alternative fashion, rather than calling for those in favor, those in opposition, those neutral, and then any rebuttals or surrebuttals. The Chair may take public comment on the project in any order in lieu of the calling for those in favor, opposition, neutral, rebuttals, and then surrebuttals.

The Committee and Commission may elect to allow the applicant or applicant representative a specific time to speak on the project prior to taking public comments on the item. This opportunity could have a specific time length allotted, such as five or ten minutes.

As a reminder, those who wish to provide information during the public comment are not required to provide their name. County staff will notify the Chair of any individuals who wish to provide testimony and will limit the testimony to the time limit identified by the Chair.

If an item on the agenda is not identified as a “public hearing”, public comment is still required and can be conducted in a similar format to the modified procedures above.

All votes require a roll call with each Committee and Commission member to be named by County Staff prior to stating their vote. The Chair shall also identify by name the commissioner who initiated the motion and the name of the commissioner who seconds the motion. After a second is named, the Chair must allow County staff to complete a roll call vote.

It is possible that a delay may occur from the time the Chair calls for public comment on a project and when County staff can connect them into the zoom meeting. It is recommended that the Chair pause for 60-90 seconds after calling for public comment to allow for any connections to occur. If there are no individuals in the queue for commenting on a specific item, after 90 seconds has elapsed County staff will notify the Chair that there is no further public comment.

Staff may need to respond to emails or phone calls from members of the public during the meeting to provide assistance to the public if they encounter problems using the Zoom platform. Staff requests that the Chair allow additional time as needed to ensure that members of the public can engage in the meeting.

Zoom Instructions

Zoom links can be found in the agenda for each meeting. The public can view the meeting from their smartphone, on their computer browser, or listen on their telephone. Zoom does not require an account to attend the meeting, but if the public wishes to create one, their basic accounts are free.

It is possible that a delay may occur from the time the Chair calls for public comment on a project and when County staff can connect them into the Zoom meeting. The Chair will pause for 60 seconds after calling for public comment to allow for any connections to occur. If there are no individuals in the queue for commenting on a specific item, after 60 seconds has elapsed county staff will notify the Chair that there is no public comment.

Members of the public can also choose to watch the meeting and do not have to comment during the meeting. If a member of the public does not want to provide public comment live, they can provide public comment prior to the meeting via email to the Community Development Department Planning manager at DRuby@co.tuolumne.ca.us. If you would like your comments to be included in the record, please send comments to the above email address by 9:00 a.m. of the day of the noticed meeting.

If anyone is having technical difficulties with Zoom, they can visit Zoom's support page for helpful tips: <https://support.zoom.us/hc/en-us/categories/201146643>.

Below are step by step instructions on how to join and interact as an attendee via Zoom.

JOINING A WEBINAR BY LINK

- To join the webinar, click the link that we provided in the agenda.
- If you are signed in, change your name if you do not want your default name to appear.
- If you are not signed in, enter a display name.

MANUALLY JOINING A WEBINAR

- Use the 9-digit meeting ID/webinar ID provided in the agenda.
- Sign in to the Zoom Desktop or Mobile App
- Click or tap **Join a Meeting**
- Enter the 9-digit webinar ID, and click **Join** or tap **Join Meeting**
- If prompted, enter your name and email, then click **Join Webinar** or tap **Join**.
- You may change your name if you do not want your default name to appear, as you are not required to state your name.

WAITING FOR HOST TO START THE WEBINAR

- If the host has not started broadcasting the webinar, you'll receive a message letting you know to "Please wait for the host to start the meeting".

PUBLIC COMMENT

- During the public comment period you will have the option to "raise your hand" if you would like to comment on a proposed project or during the public comment portion of the meeting.
- Once you have clicked the "raise your hand" option, please wait until a staff unmutes your microphone.
- Once staff has unmuted you will have three minutes to speak.

- A staff member will verbally communicate to you and the Commissioners when you have 30 seconds remaining and then when your time is up.
- Once your allotted time is up, a staff member will mute and “lower your hand”.
- If you are participating from your smartphone, you will also have a “raise their hand” feature.
- When you are unmuted a prompt will appear to confirm you would like to be unmuted.
- Once you confirm you will be able to provide public comment.
- If you are participating via telephone call, you will need to press *9 (star 9) to “raise their hand”, and when you are unmuted you will hear “you are unmuted” allowing you to provide public comment.

END OF MEETING

- If you would like to leave the meeting before it ends, click **Leave meeting**. If you leave, you can rejoin if the webinar is still in progress, as long as the host has not locked the webinar.

Hi there,

You are invited to a Zoom webinar.

When: Oct 5, 2022 06:00 PM Pacific Time (US and Canada)

Topic: Tuolumne County Planning Commission 10-5-2022

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81659395660>

Or One tap mobile :

US: +16694449171,,81659395660# or +16699006833,,81659395660#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 669 444 9171 or +1 669 900 6833 or +1 719 359 4580 or +1 253 215 8782 or +1 346 248 7799 or +1 564 217 2000 or +1 646 931 3860 or +1 929 205 6099 or +1 301 715 8592 or +1 309 205 3325 or +1 312 626 6799 or +1 386 347 5053

Webinar ID: 816 5939 5660

International numbers available: <https://us02web.zoom.us/j/81659395660>

1 **Tuolumne County Planning Commission (TCPC)**

2 **County of Tuolumne**

3
4 **FINDINGS OF THE TUOLUMNE COUNTY PLANNING COMMISSION (TCPC)**
5 **AUTHORIZING REMOTE TELECONFERENCE MEETINGS**
6 **OF THE TUOLUMNE COUNTY PLANNING COMMISSION (TCPC)**
7 **FOR THE PERIOD OCTOBER 5, 2022 TO NOVEMBER 4, 2022**
8 **PURSUANT TO THE RALPH M. BROWN ACT.**
9

10 **WHEREAS**, all meetings of Tuolumne County Planning Commission (TCPC) and its legislative
11 bodies are open and public, as required by the Ralph M. Brown Act (Cal. Gov. Code §§ 54950 – 54963),
12 so that any member of the public may attend, participate, and view the legislative bodies conduct their
13 business; and

14 **WHEREAS**, the Brown Act, Government Code section 54953(e), makes provisions for remote
15 teleconferencing participation in meetings by members of a legislative body, without compliance with the
16 requirements of Government Code section 54953(b)(3), subject to the existence of certain conditions and
17 requirements; and

18 **WHEREAS**, a required condition of Government Code section 54953(e) is that a state of emergency
19 is declared by the Governor pursuant to Government Code section 8625, proclaiming the existence of
20 conditions of disaster or of extreme peril to the safety of persons and property within the state caused by
21 conditions as described in Government Code section 8558(b); and

22 **WHEREAS**, a further required condition of Government Code section 54953(e) is that state or local
23 officials have imposed or recommended measures to promote social distancing, or, the legislative body
24 holds a meeting to determine or has determined by a majority vote that meeting in person would present
25 imminent risks to the health and safety of attendees; and

26 **WHEREAS**, on March 4, 2020, Governor Newsom issued a Proclamation of a State of Emergency
27 declaring a state of emergency exists in California due to the threat of COVID-19, pursuant to the California
28 Emergency Services Act (Government Code section 8625); and,

1 **WHEREAS**, on June 11, 2021, Governor Newsom issued Executive Order N-07-21, which
2 formally rescinded the Stay-at-Home Order (Executive Order N-33-20), as well as the framework for a
3 gradual, risk-based reopening of the economy (Executive Order N-60-20, issued on May 4, 2020) but did
4 not rescind the proclaimed state of emergency; and,

5 **WHEREAS**, on June 11, 2021, Governor Newsom also issued Executive Order N-08-21, which set
6 expiration dates for certain paragraphs of the State of Emergency Proclamation dated March 4, 2020 and
7 other Executive Orders but did not rescind the proclaimed state of emergency; and,

8 **WHEREAS**, as of the date of this Findings, neither the Governor nor the state Legislature have
9 exercised their respective powers pursuant to Government Code section 8629 to lift the state of emergency
10 either by proclamation or by concurrent Findings the state Legislature; and,

11 **WHEREAS**, the California Department of Industrial Relations has issued regulations related to
12 COVID-19 Prevention for employees and places of employment. Title 8 of the California Code of
13 Regulations, Section 3205(5)(D) specifically recommends physical (social) distancing as one of the
14 measures to decrease the spread of COVID-19 based on the fact that particles containing the virus can travel
15 more than six feet, especially indoors; and,

16 **WHEREAS**, the Tuolumne County Planning Commission (TCPC) finds that state or local officials
17 have imposed or recommended measures to promote social distancing, based on the California Department
18 of Industrial Relations' issuance of regulations related to COVID-19 Prevention through Title 8 of the
19 California Code of Regulations, Section 3205(5)(D); and,

20 **WHEREAS**, as a consequence, the Tuolumne County Planning Commission (TCPC) does hereby
21 find that it shall conduct its meetings by teleconferencing without compliance with Government Code
22 section 54953 (b)(3), pursuant to Section 54953(e), and that such legislative bodies shall comply with the
23 requirements to provide the public with access to the meetings as prescribed by Government Code section
24 54953(e)(2).

25 ///

26 ///

27 ///

28 ///

1 **NOW, THEREFORE, BE IT RESOLVED, FOUND AND ORDERED** by the Tuolumne County
2 Planning Commission (TCPC) , County of Tuolumne, State of California, in regular session assembled on
3 October 5, 2022 does hereby resolve as follows:

4 Section 1. Recitals. All of the above recitals are true and correct and are incorporated into this
5 Findings by this reference.

6 Section 2. State or Local Officials Have Imposed or Recommended Measures to Promote Social
7 Distancing. The Tuolumne County Planning Commission (TCPC) hereby proclaims that state officials
8 have imposed or recommended measures to promote social (physical) distancing based on the California
9 Department of Industrial Relations’ issuance of regulations related to COVID-19 Prevention through Title
10 8 of the California Code of Regulations, Section 3205(5)(D).

11 Section 3. Remote Teleconference Meetings. The Tuolumne County Planning Commission
12 (TCPC) is hereby authorized and directed to take all actions necessary to carry out the intent and purpose
13 of these Findings including, conducting open and public meetings in accordance with Government Code
14 section 54953(e) and other applicable provisions of the Brown Act.

15 Section 4. Effective Date. These Findings shall take effect immediately upon its adoption and
16 shall be effective until the earlier of (i) December 13, 2021, or (ii) such time the Tuolumne County Planning
17 Commission (TCPC) adopts a subsequent Findings in accordance with Government Code section
18 54953(e)(3) to extend the time during which its legislative bodies may continue to teleconference without
19 compliance with Section 54953(b)(3).

20 ADOPTED this 5th day of October, 2022 by Tuolumne County Planning Commission (TCPC), by
21 the following vote:

22
23 YES:

24 NO:

25 ABSENT:

26 ABSTAIN:

CA DRILLING AND BLASTING CO, INC

SURFACE/MINERAL

RIGHTS OWNER: Ascend Multi Services, Inc.

APPLICANT: California Drilling and Blasting CO, INC.
c/o Cody Loftis
Phone: 209-559-4556

DATE: September 1, 2022

PROJECT AND LOCATION

PROJECT

DESCRIPTION: Conditional Use Permit CUP22-008 to allow the use of a commercial coach on a 69.45± acre parcel zoned M-2 (Heavy Industrial) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

LOCATION: The project site is located at 5405 O'Byrnes Ferry Road, approximately 1.5± miles southwest of the intersection of State Highway 120/108 and O'Byrnes Ferry Road, in the community of Jamestown. Within a portion of Section 3, Township 1 South, Range 13 East, Mount Diablo Baseline and Meridian and within Supervisorial District 5. Assessor's Parcel Number 063-160-025.

GENERAL PLAN: The project site is designated Heavy Industrial (HI) by the Tuolumne County General Plan land use diagrams. Table 1.3 of the Technical Background Report of the 2018 Tuolumne County General Plan indicates that the HI designation is consistent with the M-2 zoning district.

ENVIRONMENTAL EVALUATION

After reviewing the project and its setting, the Environmental Coordinator for the County of Tuolumne has determined that Conditional Use Permit CUP22-008 is categorically exempt from review under the California Environmental Quality Act pursuant to Section 15303 of the *State CEQA Guidelines* because the project entails the placement of a 1,536 square foot commercial coach as a supporting use to an existing business and operations on the site. The project does not involve the use of significant amounts of hazardous substances and does not exceed 10,000 square feet in floor area within an urbanized area. None of the exceptions to the use of a categorical exemption found in Section 15300.2 of the *State CEQA Guidelines* apply to this project.

RECOMMENDATION

Community Development Department Staff recommends approval of Conditional Use Permit CUP22-008 based upon the following findings pursuant to Section 17.68.050 of the TCOC, and subject to the attached conditions 1 through 23:

- A. The proposed project is consistent with the Tuolumne County General Plan.
- B. The proposed project is in accordance with the Tuolumne County Ordinance Code.
- C. The proposed use will not overburden existing municipal facilities.
- D. The size and terrain of the project site are suitable for the proposed use.
- E. Under the circumstances of the particular case, the proposed use will not be substantially detrimental to the health, safety or general welfare of the persons residing or working in the neighborhood of such proposed use, or be substantially detrimental or injurious to property

CA DRILLING AND BLASTING CO, INC

and improvements in the neighborhood.

- F. The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the *State CEQA Guidelines*.

GENERAL INFORMATION

Site Description

1. The project site is located 5405 O'Byrnes Ferry Road. The project site is developed with a driveway, well, and various structures and trailers. The site is currently utilized as the storage yard and operating center for W.A Murphy and California Drilling and Blasting Co., Inc. A portion of the site in the southeastern portion is utilized for site blasting activities. Elevations on site range from 1,080 feet above mean sea level along the northern property boundary adjacent to O'Byrnes Ferry Road, to approximately 1,260 feet above mean sea level in the southeastern property boundary. Much of the site has been developed and disturbed by industrial activities conducted on site. Vegetation on site includes gray pines, blue oaks, annual grasses, and various brush vegetation

Project Description

2. An application for Conditional Use Permit CUP22-008 was submitted on August 11, 2022, to allow the permanent use of a commercial coach to be utilized in conjunction with the industrial businesses and operations on the site. The coach is existing and is 24 feet by 64 feet in size, totaling approximately 1,536 square feet. The coach will provide office space and restrooms. The coach would replace other various trailers used around the site as office space and would be utilized by existing employees of the site. Due to the site topography and existing vegetation, the commercial coach is not visible from O'Byrnes Ferry Road. The commercial coach is light gray in color with matching skirting, which is compatible with the exiting industrial uses on site (Attachment 3).

General Plan

3. The project site is designated Heavy Industrial (HI) by the Tuolumne County General Plan land use diagrams. The HI designation provides for all the same uses as the LI designation but also provides for uses that are normally considered incompatible with residential development. This designation is applied to areas with good access to major truck transportation routes and rail lines that are located away from concentrated residential areas to minimize impacts to the County residents. The site is currently utilized as the storage yard and operating center for W.A Murphy and California Drilling and Blasting Co., Inc., which are compatible uses in the HI designation. The commercial coach would support these operations and is therefore compatible with the HI designation.
4. Table 1.3 of the Community Development and Design Element in Volume II of the 2018 General Plan indicates that the M-2 zoning district is compatible with the HI General Plan land use designation. Therefore, the proposed project may be found to be consistent with the Tuolumne County General Plan.

Tuolumne County Ordinance Code

5. The project site is zoned M-2 under Title 17 of the TCOC. The purpose of the M-2 district is to provide an area for heavy industry. Permitted uses within the M-2 zoning district include "general manufacturing, processing and refining," "storage of equipment and materials" and "accessory uses and structures appurtenant to permitted uses." The existing uses on site and proposed commercial coach fit into these permitted land uses and therefore comply

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with the purpose of the M-2 zoning district.

6. Chapter 17.64 of the TCOC regulates the use and placement of commercial coaches. Section 17.64.038 of the TCOC indicates that a commercial coach may be used permanently for any permitted or conditional use in the M-2 district. The commercial coach is subject to the following provisions of Section 17.34.038 of the TCOC. A response has been provided to indicate how the project complies with each section of 17.34.038.

A. A use permit shall be secured in accordance with Chapter 17.68.

The applicant has applied for Conditional Use Permit CUP22-008.

B. An application for a use permit shall be referred to the Planning Commission for action pursuant to Section 17.68.180 of the TCOC.

The Tuolumne County Planning Commission will conduct a public hearing and act on this proposed project.

C. The commercial coach shall bear the tag of the State as required by the California Health and Safety Code.

Conditional Use Permit CUP22-008 will be conditioned to meet this requirement.

D. The commercial coach shall carry a current State license.

Conditional Use Permit CUP22-008 will be conditioned to meet this requirement.

E. The commercial coach shall be installed on a permanent perimeter foundation with skirting around the unit.

The commercial coach has been installed on a permanent foundation and has skirting around the unit (Attachment 3).

F. Landscaping shall be provided around all sides of the commercial coach.

CDD staff did not require additional landscaping and recommends the Planning Commission consider this finding met. There is existing natural vegetation on the project site that would meet the site's overall landscaping requirements. Due to the site topography and existing vegetation on site, the commercial coach is not visible from any public roadway including O'Byrnes Ferry Road. The commercial coach is located on top of a 100-foot by 75-foot area of compacted aggregate base, so the addition of landscaping around the coach would not be feasible. Additionally, landscaping directly surrounding the commercial coach would conflict with 30-foot defensible space requirements.

G. The design and exterior materials of the commercial coach shall blend with those on existing buildings on the site and in the surrounding neighborhood or be consistent with any applicable design standards in the General Plan or as provided in Title 17.

The project site is not located within an area that is subject to design guidelines or a Community Plan. The commercial coach is light gray in color and is consistent with the industrial use of the parcel.

H. The installation of the commercial coach shall be in accordance with all applicable construction codes and the provisions of the Tuolumne County Ordinance Code

CA DRILLING AND BLASTING CO, INC

related to commercial, industrial, or business park development of the type of occupancy.

The commercial coach will be installed in accordance with all applicable codes. The applicant will be required to obtain applicable building permits for the commercial coach.

Traffic and Access

7. Access to the project site is provided via an existing driveway encroachment from O'Byrnes Ferry Road. O'Byrnes Ferry Road is a County maintained road in good condition. There is an existing paved driveway and encroachment to the site. The commercial coach would be accessed from the existing paved driveway. There is graveled area for vehicles to park adjacent to the commercial coach.
8. Pursuant to Section 3.54.050(O) of the TCOC, the replacement, on the same parcel, of an existing development within 18 months shall be exempt from Traffic Impact Mitigation Fees. The commercial coach would replace existing job trailers located around the site. Therefore, Conditional Use Permit CUP21-008 will not require the payment of Traffic Impact Mitigation Fees.

Utilities

9. The project site is served via an existing well which will provide water to the commercial coach. In-lieu of a standard septic system, the commercial coach would connect to a liquid holding tank for wastewater services. The tank would be serviced and pumped weekly by an authorized pumper. This has been reviewed by the Environmental Health Division and they provided two additional conditions. The Environmental Health Division indicated that the project proponent will be required to provide verification of a service contract with a septic pumper and that the restroom use shall be limited to employees only. These will be incorporated into the conditions of approval for Conditional Use Permit CUP22-008. The applicant has indicated that the coach would be powered via a solar panel with a backup generator. The low use of the coach is not expected to overburden utilities.

Cultural Resources

10. No cultural resource indicators were found on the site during site inspections by staff or identified within the Tuolumne County Database of Cultural Resources. Therefore, a cultural resource survey was not required for the proposed project. Future construction, grading, and excavation could potentially unearth subsurface cultural resources, therefore Conditional Use Permit CUP22-008 will be conditioned to require investigation of any such discovered resources by a qualified archaeologist prior to any further construction as required by Section 14.10.150 of the TCOC

Biological Resources

11. The Tuolumne County Wildlife Habitat Maps indicate that the project site contains the residential park (rsp), annual grassland (ags), barren (bar), blue oak pine (bop), mixed chaparral (mch), and blue oak woodland (bow) habitat types. Vegetation on site includes gray pines, blue oaks, annual grasses, and various brush vegetation. Much of the site is developed and disturbed by the industrial activity on site. The rsp, bar, and ags habitats are considered fourth priority habitats, which are common habitats that are of relatively low value to wildlife. No mitigation is required for development within fourth priority habitats. The bop, mch, and bow habitat types are considered third priority habitats, which are common habitats that are of considerable value to wildlife. The commercial coach would be located

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within the rsp and ags habitats on site. Due to the low value of the habitat located within the project site and the nature of the proposed project, mitigation for cumulative impacts to wildlife was not required.

12. The California Department of Fish and Game Natural Diversity Data Base (CNDDB) maps were consulted for known locations of special status plants or animal species. The special status plant the Congdon's Lomatium (*Lomatium congdonii*) has been known to occur within the vicinity of the project site. This species is found in oak woodland habitat often in serpentine soils. The commercial coach would be placed within the rsp and ags habitat on site, away from the portions that would contain potential habitat for this species. The coach was placed within an area that was devoid of vegetation. Therefore, there would be no impact to the Congdon's Lomatium or its habitat.

Advisory Agency Responses

13. The proposed project has been reviewed by several State and County agencies. The responses from advisory agencies are addressed in this report below and the project Conditions of Approval. The Tuolumne County Air Pollution Control District, Tuolumne County Environmental Health Division, and Central Sierra Environmental Resources Division provided comments on the proposed project. The Tuolumne County Fire Prevention Division indicated that they have no concerns or conditions for the proposed project.

Air Pollution Control District

The Tuolumne County Air Pollution Control District reviewed the proposed project and provided conditions, which have been incorporated into the conditions of approval for Conditional Use Permit CUP22-008. These conditions include the requirements of a Dust Mitigation Plan, dust suppression measures, and other requirements to be implemented during site construction.

Environmental Health Division

The Environmental Health Division reviewed the proposed project and provided additional conditions for the proposed wastewater system, as discussed in the "Utilities" Section above. They also indicated the project would need to comply with Chapters 13.04, 13.08, and 13.16 of the TCOC. These have been incorporated into the conditions for Conditional Use Permit CUP22-008.

Central Sierra Environmental Resource Center

The Central Sierra Environmental Resource Center (CSERC) provided a response on the proposed project and questioned if the septic was existing or if a new one was proposed. They indicated that any wastewater treatment system should obtain any necessary permit approvals to ensure it can accommodate the waste from the commercial coach.

Adjoining Property Owners

14. A total of 6 property owners located within 1000 feet of the project site were notified of the project via mail on August 19, 2022. The Community Development Department did not receive any responses from adjoining property owners.

Conditional Use Permit Findings

15. Section 17.68.050 of the TCOC requires that evidence be shown that the proposed project meets the necessary findings for a conditional use permit. Below are the required findings, and staff's responses to each point:

A. *The proposed project is consistent with the Tuolumne County General Plan.*

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Consistency with the General Plan is discussed and demonstrated in #3 and #4 above in this report.

- B. The proposed project is in accordance with the Tuolumne County Ordinance Code.*

Consistency with the Ordinance Code is discussed and demonstrated in #5, #6 and #8 above in this report.

- C. The proposed project will not overburden existing municipal facilities.*

Municipal facilities and utilities were discussed in #9 above in this report. The project would not overburden these services.

- D. The size and terrain of the project site are suitable for the proposed use.*

The site topography is described in #1 of this report and the project description is described in #2 of this report. The project site is suitable for the proposed use.

- E. The proposed project will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.*

The project has been conditioned to require securement of building permits and applicable Environmental Health Permits. The coach would meet all the requirements as indicated in Section 17. 17.34.038. The commercial coach would not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity.

- F. The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines.*

Please see the “Environmental Evaluation” Section above in this report for evidence for a Notice of Exemption pursuant to Section 15303 of the *State CEQA Guidelines*.

PREPARED BY: Natalie Rizzi, Senior Planner

S:\Planning\PROJECTS\Conditional Use Permit\2022\CUP22-008 CA Drilling and Blasting CO\Application Review\Agenda Report - CA Drilling and Blasting.doc

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CONDITIONS OF APPROVAL CALIFORNIA DRILLING AND BLASTING CO, INC CONDITIONAL USE PERMIT CUP22-008

General Conditions:

1. LU As a condition of the grant of approval of this Permit, and as a continuing condition of approval of the Permit, developer/permittee/applicant/property owner/subdivider, and the successor in interest shall defend, indemnify, save and hold harmless the County of Tuolumne, its elected and appointed officials, officers, agents, employees and volunteers from any and all claims, actions, proceedings, or liability of any nature whatsoever (including attorney's fees and costs awards) arising out of, or in connection with the County's review or approval of the application or project on which this condition is imposed, or arising out of or in connection with the acts or omissions of the above described person, and his/her/its agents, employees, or contractors, during any work performed in connection with the application or project. With respect to review or approval, this obligation shall also extend to any effort to attack, set aside, void, or annul the approval of the project including any contention the project approval is defective because a county ordinance, resolution, policy, standard, or plan is not in compliance with local, state or federal law. With respect to acts or omissions of the above described person and his/her/its agents, employees, or contractors, the obligation hereunder shall apply regardless of whether the County prepared, supplied, or approved plans, specifications or both. If the defense right is exercised, the County Counsel shall have the absolute right to approve any and all counsel employed to defend the County. To the extent the County uses any of its resources to respond to such claim, action or proceeding, or to assist the defense, the above described person will reimburse County upon demand. Such resources include, but are not limited to, staff time, court costs, County Counsel's time at its regular rate for non-County agencies, or any other direct or indirect cost associated with responding to, or assisting in defense of, the claim, action, or proceedings. For any breach of this obligation the County may, without notice, rescind its approval of the application or project to which this covenant/condition is attached. (TCOC Section 17.68.150)
2. ED An Encroachment Permit shall be obtained from the Engineering Division of the Department of Public Works for any work that may be proposed within a County road right-of-way. (TCOC, Section 17.68.150)
3. BD A Building Permit shall be obtained from the Building and Safety Division of CDD for all non-exempt structures, pursuant to Section 105 of the California Building Code. (CBC, Section 105)

Conditions to be met prior to the issuance of a building permit:

4. BD This project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), and Chapters 11A and/or 11B of the California Building Code as applicable. (TCOC, Section 17.68.150)

Conditions to be met during the construction phase of the project:

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5. APCD Any construction or site activities that create fugitive dust emissions shall implement dust suppression methods using either water or chemical stabilizer/suppressants. A water truck or other dust suppression equipment shall be on site at all times. The frequency of dust suppression measures shall be dependent on whether visible dust emissions are present. (TCAPCD Rule 505 - *Conditional Approval*)
6. APCD An Asbestos Dust Mitigation Plan pursuant to Air District Rule 908 - *Asbestos ATCM*, shall be submitted to the Air District prior to any building or site work. (TCAPCD ATCM 908 - *Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations*)
7. APCD The provisions of the approved asbestos Dust Mitigation Plan shall be implemented at the beginning and maintained throughout the duration of the construction or grading activity. (TCAPCD ATCM 908 - *Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations*)
8. APCD Any aggregate rock used for surfacing material that contains greater than 0.25% asbestos shall be incorporated into or completely covered by asphalt concrete, Portland cement concrete, or other similarly cemented material. (TCAPCD ATCM 904 - *Asbestos ATCM for Surfacing Applications*)
9. APCD Existing county or State paved roads and streets adjacent to the construction site shall be washed down as necessary to limit track out and prevent fugitive dust. (TCAPCD Rule 505 - *Conditional Approval*)
10. APCD CARB mobile equipment regulations shall be adhered to for all diesel fired mobile sources used at this site during construction and operation of the facility. (CCR Title 13 Section 2449 et al)
11. APCD Any stationary prime or emergency standby diesel fueled engine used for electrical generation purposes during building or operation of this facility shall comply with the *ATCM for Stationary Compression Ignition Engines*. (CCR Title 17 Section 93115)

Conditions to be met prior to the Final Inspection by the Building and Safety Division of the Community Development Department:

12. LU The commercial coach shall bear the tag of the state as required by the California Health and Safety Code. (TCOC, Section 17.64.038(C))
13. LU The commercial coach shall carry a current state license. (TCOC, Section 17.64.038(D))
14. LU The commercial coach shall be installed on a permanent perimeter foundation or other permanent foundation with skirting around the unit. (TCOC, Section 17.64.038(E))
15. LU The final project shall meet all requirements mandated by federal, state, or local law. Federal or state law may require additional obligations beyond those required by these conditions or local requirements, including additional analysis

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of environmental or other issues, over which the County has no control. (TCOC, Section 17.68.150)

16. BD/LU All construction on the site shall adhere to the site plan approved by Tuolumne County. Any significant deviation from the plans shall require approval of supplemental plans submitted by the property owner. (TCOC, Section 17.68.150)
17. EH/LU Provide proof of a valid service contract with a septic pumper for the wastewater system for the commercial coach. The proof of a valid service contract shall be provided prior to the final building inspection from the Building and Safety Division and as requested by the Community Development Department to ensure compliance. (TCOC, Section 17.68.100)
18. LU A site inspection may be conducted by Community Development Department and Department of Public Works personnel to verify compliance with the conditions listed above. (TCOC, Section 17.68.150)

On-going Conditions. The owner of the property at the time of construction or use shall be responsible for compliance with the following conditions:

19. LU The noise levels generated by the project shall be restricted to the following exterior noise limits as measured at the property line:

Zoning Classification of Receiving Property	Noise Level (dB) of Sound Source	
	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
MU, R-3, R-2, R-1, RE-1, RE-2, RE-3, RE-5, RE-10, C-O, C-1, C-S, BP	50 Leq. (1 hour) ¹	45 Leq. (1 hour) ¹

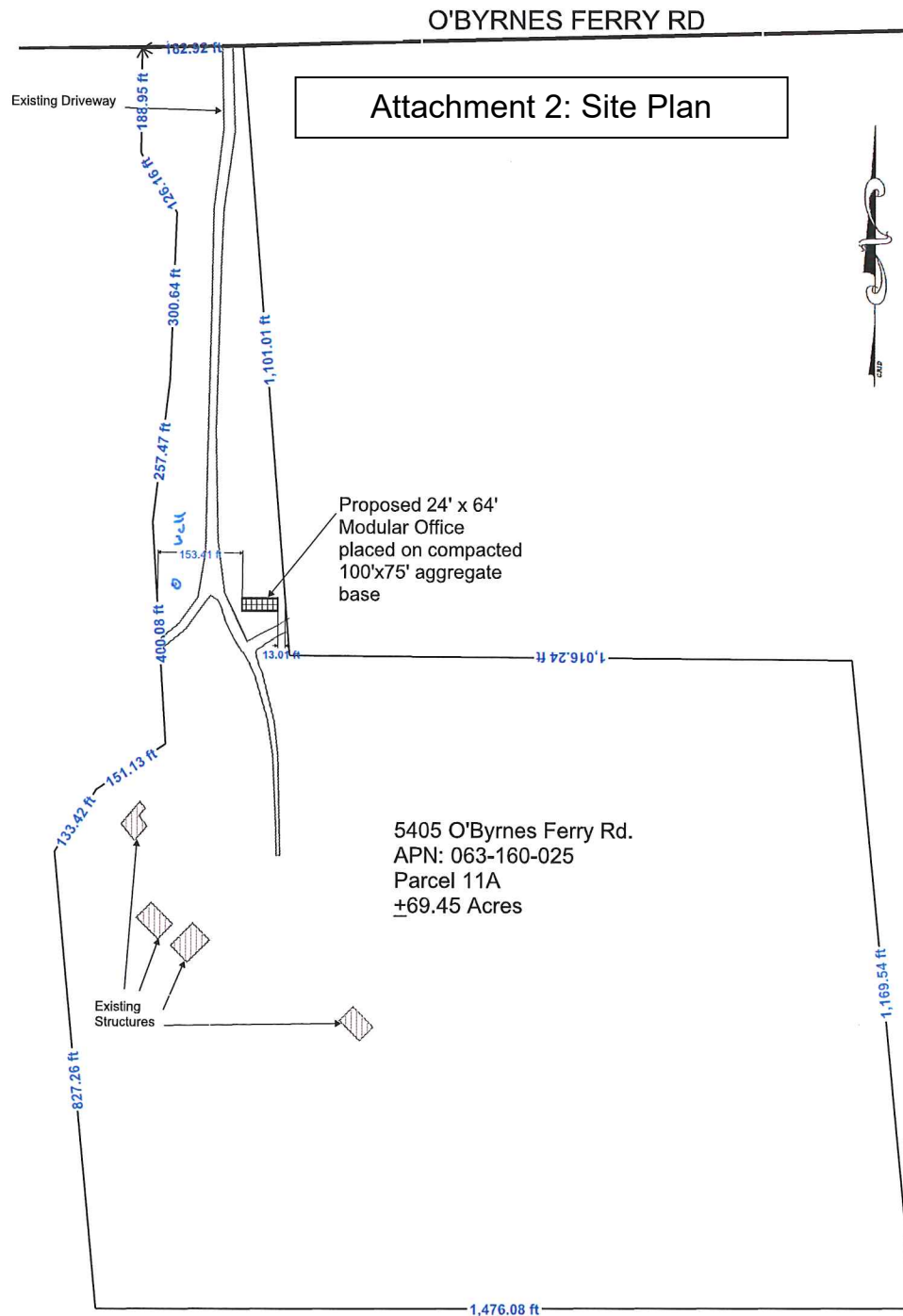
¹Leq. 1 hour refers to the average noise level measured over a one-hour period.
(TCOC, Section 17.68.150)

20. APCD Open burning of vegetation for land clearing purposes shall be prohibited without a valid burn permit from the Air Districts. (TCAPCD Rule 310.2(A) - *Land Development Clearing*)
21. BD Hours of constructions shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction shall be prohibited on Sunday and County holidays. Exceptions to these hours this condition may be authorized by the Community Resources Director. (TCOC, Section 17.68.150)
22. EH Development will require compliance with Chapters 13.04, 13.08 and 13.16 of TCOC for construction and maintenance of on-site sewage treatment and disposal systems and water wells. (TCOC, Chapters 13.04, 13.08 and 13.16)
23. EH/LU Restroom use of the commercial coach shall be limited to employees. (TCOC, Section 17.68.150)

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A Notice of Action shall be recorded for Conditions 1 through 23 to notify all owners of this parcel of the conditions of this entitlement and these responsibilities. Any violations observed by the Community Development Department during regular site inspections or in response to complaints shall be referred to the agency having jurisdiction over the condition for resolution or referred to the Code Compliance Officer for enforcement. (PRC, Section 21081.6; TCOC, Section 17.68.150)

COMMUNITY DEVELOPMENT DEPARTMENT CONTACT PERSON: Natalie Rizzi



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Attachment 3: Existing Elevations



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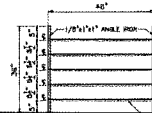
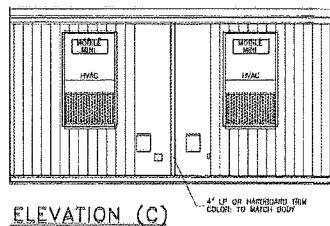
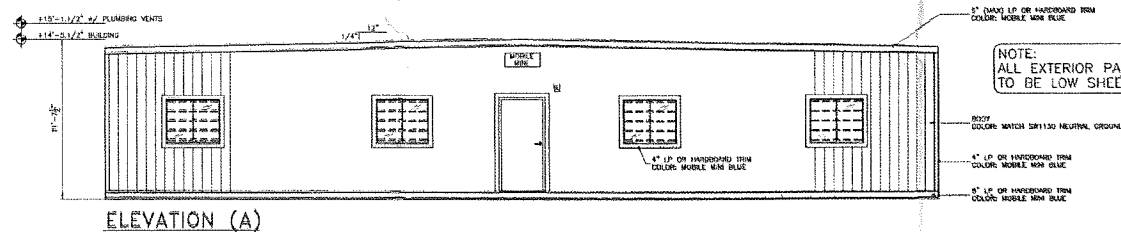
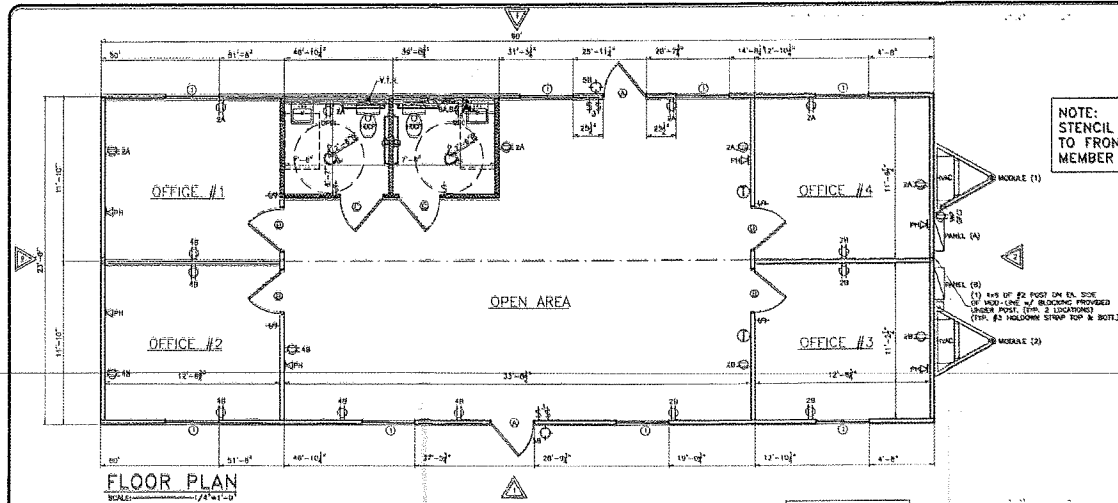
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Attachment 4: Floor Plans



INTERIOR BOLT ON SECURITY BAR



PLAN VIEW

NOTE:
STENCIL SERIAL
TO FRONT CRO
MEMBER (TYP.)

NOTE:
ALL EXTERIOR PAINT
TO BE LOW SHEEN

NOTE:
PROVIDE DEALER STOCK UNIT
SIGNS ON THIS BUILDING.

FINISH SCHEDULE			REMARKS
INTERIOR			
FLOOR	1.	1" X 6" WET LAMINATED FINISH W/SLIP COLOR: FOREST GREEN	
BASE	2.	2" X 6" DRY LAMINATED FINISH (W/SLIP) COLOR: OCEAN WINE	
	3.	1" X 4" WET LAMINATED BASE (W/SLIP) COLOR: W/SLIP	
WALLS	4.	1/2" X 4" PAPERGLASS MEDIUM (THICKENED) BOARDING COLOR: SHAMROCK GREEN	
	5.	1/2" X 4" WET LAMINATED FINISH (W/SLIP) COLOR: W/SLIP	
TRIM	6.	1" X 4" WET LAMINATED FINISH (W/SLIP) COLOR: W/SLIP	
	7.	1" X 4" WET LAMINATED FINISH (W/SLIP) COLOR: W/SLIP	
CEILING	8.	1/2" X 4" WET LAMINATED FINISH (W/SLIP) COLOR: W/SLIP	

DOOR SCHEDULE										
SYM	SIZE	TRK.	DOOR MATERIAL	TYPE	SWING	FINISH	GLASS	GLASS TYPE	GLASS OPENING	REMARKS
①	3000 x 1 3/4"	24ga.	SLK.	SLK BUTTERFLY	OUT	ALUM.	1	1	2	30" 1/2" x 61" 1/2" 24 GA. SLK. BUTTERFLY
②	3000 x 1 3/8"	24ga.	SLK.	SLK	IN	ALUM.	2	2	4	30" 1/2" x 61" 1/2" 24 GA. SLK.
③	3000 x 1 3/8"	24ga.	SLK.	SLK	IN	ALUM.	2	2	3	30" 1/2" x 61" 1/2" 24 GA. SLK.

HARDWARE GROUP	FINISH GROUP
MORE DOOR HANDLES TO BE HARDWARE ACCESSIBLE	
1. PRORIDE IN 50L OR (HARD ALUM) THERMAL, CLOSURE, RUFF CO. ALUMINIZATION, DOOR: SHIELD, THERMAL, SHIELD, SHIELD, 12" SPR. 12" HALL SHIELD.	1. THERM, ALUMINIZATION CLOSURE COLOR: - PRORIDE COLOR: - JAMB COLOR: - PRORIDE
2. PRORIDE IN 12" HINGES, WALL W/DOOR STOP.	2. PRORIDE IN 12" HINGES, WALL W/DOOR STOP, WALL STOP JAMB COLOR: - PRORIDE
3. PRORIDE IN 12" HINGES, WALL W/DOOR STOP.	

WINDOW SCHEDULE							
SYM	SIZE	WINDOW TYPE	FINISH	GLASS	QTY	ROUGH OPENING	REMARKS
(1)	4000	ALUM. SLUR	SPRINT	1/2" LG	10	48" x 50"	ALUMINUM SLUR

81° AFF.	81° AFF.
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[illegible]

GENERAL NOTES -CALIFORNIA-

- [illegible]

15. THIS PAGE MAY BE REPEATED AND OR MODIFIED.

OCCUPANCY LOAD CALC.			
1. OFFICE #1	1.00	0.00	
2. OFFICE #2	1.02	0.00	
3. OFFICE #3	0.01	0.00	
4. OFFICE #4	1.02	0.00	
5. OFFICE AREA	0.67	0.00	
TOTAL, USABLE SPACE			$0.00 + 100 = 10.0$ sq. ft.

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**Community Development
Department**

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OFFICE OF ENVIRONMENTAL COORDINATOR

Quincy Yaley, AICP
Environmental Coordinator

48 Yaley Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
209 533-5633
209 533-5616 (fax)
209 533-5909 (fax – EHD)
www.tuolumnecounty.ca.gov

NOTICE OF EXEMPTION

PROJECT TITLE: Conditional Use Permit CUP22-008

**PROJECT
PROPONENT:** California Drilling and Blasting CO., INC.
PO Box 689
South Pasadena, CA 91031

LOCATION: The project site is located at 5405 O'Byrnes Ferry Road, approximately 1.5± miles southwest of the intersection of State Highway 120/108 and O'Byrnes Ferry Road, in the community of Jamestown. Within a portion of Section 3, Township 1 South, Range 13 East, Mount Diablo Baseline and Meridian and within Supervisorial District 5. Assessor's Parcel Number 063-160-025.

COUNTY: Tuolumne

**PROJECT
DESCRIPTION:** Conditional Use Permit CUP22-008 to allow the use of a commercial coach on a 69.45± acre parcel zoned M-2 (Heavy Industrial) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

**APPROVING
AGENCY:** Tuolumne County

EXEMPT STATUS (check one)

- ☐ Ministerial (Sec. 21083, 21084; 15303(d))
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- ☒ Categorical Exemption (Sec. 15303)
- ☐ Exemption (Sec. 21083, 21084; 15303(d), 15304(a); 15304(b))

RATIONALE FOR EXEMPTION: After reviewing the project and its setting, the Environmental Coordinator for the County of Tuolumne has determined that Conditional Use Permit CUP22-008 is categorically exempt from review under the California Environmental Quality Act pursuant to Section 15303 of the *State CEQA Guidelines* because the project entails the placement of a 1,536 square foot commercial coach as a supporting use to an existing business and operations on the site. The project does not involve the use of significant amounts of hazardous substances and does not exceed 10,000 square feet in floor area within an urbanized area. None of the exceptions to the use of a categorical exemption found in Section 15300.2 of the *State CEQA Guidelines* apply to this project.

LEAD AGENCY CONTACT: Natalie Rizzi

TELEPHONE NUMBER: (209) 533-5633

Signature: _____
Quincy Yaley, AICP
Environmental Coordinator

Date: _____

DATE: October 5, 2022

**SURFACE/MINERAL
RIGHTS OWNER:** John Gray

APPLICANT: Reuben Chirnside - Land and Structure

PROJECT AND LOCATION

- PROJECT DESCRIPTION:**
1. Zone Change RZ21-013 to rezone a 0.19± acre parcel from C-1:D:H:HDP:MX (General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) to M-U(Mixed Use): D:H:HDP:MX combining under Title 17 of the Tuolumne County Ordinance Code (TCOC).
 2. Site Development Permit SDP21-007 to allow construction and/or expansion of an existing gas station, construction of new restrooms, restoration and conversion of a previous restroom facility, development of new parking area, outdoor patio area, fencing, new utility connections and associated infrastructure, for an intended retail commercial use.
 3. Historic Conditional Use Permit CUPH21-002 to allow exterior alterations and demolition within the subject parcel per Chapter 17.44(:H) and Chapter 17.45 (:HDP) of the TCOC.

LOCATION: The project site is located at 18211 and 18223 Main Street in the community of Jamestown, on the northeast corner of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

GENERAL PLAN: The project site is designated Mixed Use (MU) by the Tuolumne County General Plan land use diagrams. Table 1.3 of the Community Development and Design Element of the General Plan indicates that the M-U zoning district is compatible with the MU land use designation. Therefore, the proposed project may be found to be consistent with the General Plan.

ENVIRONMENTAL EVALUATION

After reviewing the project and its setting, the Environmental Coordinator for the County of Tuolumne has determined that the project is exempt from review under the California Environmental Quality Act (CEQA) pursuant to Sections 15301(l)(4) and 15303(c) of the *State CEQA Guidelines*. The project consists of the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure and the project consists of minor alterations of existing public or private structures including the demolition of an accessory garage. All public services are readily available to serve the project. None of the exceptions to the use of a categorical exemption found in Section 15300.2 of the *State CEQA Guidelines* apply to this project.

On January 3, 2019, the Board of Supervisors certified an environmental impact report (EIR) for the Tuolumne County General Plan Update. The EIR for the General Plan Update was prepared as a program EIR under the provisions of Section 15168 of the *State CEQA Guidelines*. As a program EIR, the document adopted by the Board of Supervisors adequately addressed the potential environmental impacts associated with the comprehensive update of the County's constitution for growth including certain implementation activities and provided for streamlining of the environmental review process for

projects proposed subsequent to the certification of the EIR. The proposed project entails rezoning the subject property consistent with the General Plan. The rezoning of parcels consistent with the General Plan was addressed in the EIR for the General Plan and, therefore, pursuant to Section 15162 of the *State CEQA Guidelines*, no additional review under the California Environmental Quality Act is required for Zone Change RZ21-013.

RECOMMENDATION

1. Community Development Department Staff recommends approval of Zone Change RZ21-013 based upon the following findings 1A through 1D:
 - A. The proposed Zone Change is consistent with the Tuolumne County General Plan.
 - B. The proposed Zone Change is in accordance with the Tuolumne County Ordinance Code.
 - C. The project site is suited to the uses permitted under the proposed zoning district.
 - D. The potential significant environmental impacts of the proposed project were adequately addressed in a previously prepared Environmental Impact Report; therefore, no further environmental review is required for the project under the California Environmental Quality Act (CEQA) pursuant to Section 15162 of the *State CEQA Guidelines*.
2. Community Development Department Staff recommends approval of Site Development Permit SDP21-007 based upon the following findings 2A through 2D:
 - A. The proposed development is consistent with the Tuolumne County General Plan.
 - B. The proposed development is in accordance with the Tuolumne County Ordinance Code.
 - C. Under the circumstances of the particular case, the proposed use will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.
 - D. The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to Sections 15301(l)(4) and 15303(c) of the *State CEQA Guidelines*.

GENERAL INFORMATION

Site Description

1. The project site is located at 18223 Main Street in Jamestown, on the northeast corner of the intersection of Main Street and Seco Street. An existing commercial building facing Main Street, a small storage shed to the northeast of the main building, and an unpainted wood sided barn/garage near the rear (eastern) property boundary are located on the 0.2± acre parcel. The main gas station building, and the shed are painted white with blue trim. A blue canvas canopy is above a red door on the main building, and an old gas station canopy stretches from the main building towards Main Street. Two angled shed canopies are attached to the rear of the gas station building. An existing five-foot high dog-eared fence was constructed under Conditional Use Permit CUPH10-003 and Design Review DR10-016 in 2010. The fence is located along the northern parcel boundary.

2. The attached agenda map (Attachment #1) identifies the surrounding parcels in relation to the project site. Rocca Park is located to the west of the project site, on the opposite side of Main Street.

Project Site History

3. The main structure on the parcel was recorded in the *2008 Jamestown Historic Sites Inventory* as resource number #26. The building was originally listed in the *1983 Jamestown Historic Sites Inventory* as the Shell Gasoline Station, constructed in 1938. A copy of the recorded DPR Form in the 2008 Inventory can be found in attachment #2.
4. During project research staff found the following list of projects that have been conducted on the site throughout previous years. These projects and/or their descriptions can be provided upon request.

Table 1: Subject Parcel Past Projects

• Historic Conditional Use Permit CUPH08-005	• DR10-016
• Design Review Permit DR08-017	• CUP10-011
• CUPH09-007	• CUPH10-012
• DR09-029	• DR10-046
• CUPH10-003	• CUPH19-001

Project Description

5. An application for the following projects identified above in this report was submitted on November 10, 2021.

The proposed project scope consists of the following items:

- Restore the exterior façade of the existing gas station building.	- Construct new concrete patio being gas station and accessible pathway to parking area.
- Construct a new standalone bathroom building containing two accessible bathrooms.	- Install new landscaping at the intersection of Main Street and Seco Street and install perimeter fencing as shown on site plan.
- Restore exterior façade of existing bathroom building for storage use.	- Provide new water, sewer and electrical service to the site.
- Demolish existing wooden barn and construct three stall parking area.	- Center of the property is to be left as a gravel surface pending future development.
- Remove existing asphalt and concrete surfacing between gas station and main street and construct new concrete surface.	

Attachment # 4 identifies the proposed building elevations and color of the structure. Attachment #5 are example renderings which show the proposed colors of the structure more clearly. The proposed development of this site would consist of a retail shop use.

6. Pursuant to Section 17.68.120 of the TCOC, The Tuolumne County Planning Commission will make a decision upon Site Development Permit SDP21-007 contingent upon a recommendation to the Board of Supervisors for Zone Change application RZ21-013.

General Plan

7. The project site contains the Mixed Use (MU) General Plan land use designation. The purpose of the MU designation is to provide for a mixture of residential, commercial, and recreational facilities in an urban setting. This designation is applied within urban areas where a mixture of these uses is desirable near transportation corridors, downtowns, defined community centers, major commercial centers, schools, and community services.
8. Typical land uses allowed include detached and attached single-family dwellings, all types of multiple family dwellings, such as duplexes, apartments and senior housing projects, commercial facilities, parks, childcare facilities, and public facilities. The minimum parcel size is 2,500 net square feet. The maximum building intensity under this designation is 15 dwelling units per acre. The maximum floor area ratio is 2.0.
9. Table 1.3 of the Technical Background Report of the 2018 Tuolumne County General Plan indicates that the existing MU General Plan land use designation on the project site is consistent with the proposed Mixed – Use (M-U) zoning district. Furthermore, the project site is currently developed with a commercial structure which is located on a 10,197.64 square foot parcel, which meets the minimum parcel size required in the M-U district. Therefore, the proposed project is consistent with the Tuolumne County General Plan.
10. Site Development Permit SDP21-007 has been found to be consistent with the Tuolumne County General Plan. The following Goals, Policies and Implementation Programs of the 2018 Tuolumne County General Plan also pertain to this project:

Policy 1.A.5

Promote infill and clustered patterns of development that facilitate the efficient and timely provision of urban infrastructure and services.

Site Development Permit SDP21-007 would potentially allow a commercial type of development on a parcel surrounded by commercially developed sites. Public water and sewer service mechanisms readily available and have served the site in the past.

Goal 1F

Promote the development of commercial uses to meet the present and future needs of Tuolumne County's residents and visitors and maintain economic vitality.

Goal 6D

Promote the development of commercial, industrial, agricultural, and recreational facilities and tourism uses to provide jobs for County residents and diversify the local economy.

Approval of Site Development Permit SDP21-007 would potentially allow for a commercial retail type use located within a tourist destination which would be in support of Goal 1F and Goal 6D.

Jamestown Community Plan

11. The project has been reviewed by the Historic Preservation Review Commission (HPRC) for compliance with the Jamestown Community Plan. A synopsis of the HPRC meeting can be found in this report below.

Ordinance Code

12. The project site is currently zoned C-1:D:H:HDP:MX (General Commercial: Design Control Combining: Historic Design Preservation Combining: Mobilehome Exclusion Combining) under Title 17 of the TCOC.

13. Zone Change RZ21-013 is proposing to change the primary zoning district from C-1 to M-U, while maintaining all combining districts.
14. TCOC section 17.30.010 states the purpose of the M-U zoning district is to provide for a mixture of residential, commercial, and recreational facilities in an urban setting. It is intended that this district be established within urban areas, where a mixture of these uses is desirable near transportation corridors, downtowns, defined community centers, major commercial centers, schools, and community services. This district is not intended to provide shopping centers or major commercial developments of a community or regional nature. Development within this district shall be served with public water, public sewer, paved streets and adequate police and fire protection according to the policies of the general plan. Development in this zone must comply with Title 15 of this Code relative to fire safety standards.
15. Section 17.46.010 of the TCOC states that the design review combining (:D) district is intended to be combined with any other district in which it is desired to protect the overall appearance of the district. As there is no longer a Design Review Committee, it is the Historic Preservation Review Committee and Board of Supervisors duty to review the project in accordance with Section 17.46.080 of the TCOC. Section 17.46.080 of the TCOC identifies that the decision-making body shall make the finding that the project conforms to the design guidelines applicable to the location of the project and to the principles in Section 17.46.070.

Section 17.46.070 states, "In reviewing the application for a discretionary entitlement within a design review combining (:D) district that will result in a change in the appearance of a parcel, the decision-making body shall consider whether the proposal conforms to the applicable design guidelines adopted by the Board of Supervisors for the design review combining (:D) district and with the applicable principles A -E. The project has been found consistent with Section 17.46.070, with the evidence for the findings found in the Jamestown Design Guidelines section of this report and from the recommendation of the HPRC as indicated below in this report.
16. The purpose of the historic (H) combining district is to preserve and enhance places and things of particular importance in local, state, or national history. No building, structure, object, or site in a historic combining district may be constructed or altered in exterior appearance without first obtaining a use permit. The applicant has applied for CUPH21-002, which has been reviewed for conformance with the respective findings.
17. The Historic Design Preservation (HDP) combining district is to preserve and enhance the historic character of area containing a significant number of cultural resources worthy of preservation. By attempting to ensure compatibility of construction and exterior alteration of cultural resources, the County seeks to promote orderly and harmonious development so as to enhance the general historic appearance, tourism potential and land values in the area as a whole.
18. Section 17.45.060 of the Tuolumne County Ordinance Code (TCOC) states that no structure, building, object, or site in a historic design preservation (HDP) combining district may be constructed or altered in exterior appearance without first obtaining a use permit, unless specifically exempted. The proposed project does not qualify for an exemption from the need to obtain a historic Conditional Use Permit, because the proposed project involves a change to the appearance of the exterior of the structure.
19. In reviewing the historic conditional use permit CUPH21-002, the HPRC considered the priority of the resource according to Tables 14.06(B) and 14.06(C) of this Code (attachment #6).
20. The Mobilhome Exclusion (MX) combining district is intended to be combined with any principal zoning district in which the use of older mobilehomes as residences on individual parcels would conflict with the

aesthetic, social or economic development of any such principal zoning district. The project is not proposing the use of a mobilehome. The site is currently developed with a commercial structure which will be altered in exterior appearance therefore the provisions of this chapter are not applicable at this time.

21. Site Development Permit SDP21-007 is to allow construction and/or expansion of an existing gas station, construction of new restrooms, restoration and conversion of previous restroom facility, development of new parking area, outdoor patio area, fencing, new utility connections and associated infrastructure, for an intended retail commercial use. Pursuant to Section 17.68.100 (B) of the TCOC, the applicant has applied for Site Development Permit SDP21-007. SDP21-007 will be subject to Conditions of Approval #1 through #44.
22. Table 1 below has been linked to all respective Title 17 chapters of the TCOC to identify their purpose and provide relevant information:

Table 1:

Zoning	TCOC Section	Link
C-1	17.34	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/438/Chapter-1734--General-Commercial-District-or-C-1-District?bidId=
M-U	17.30	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/435/Chapter-1730--Mixed-Use-District-or-MU-District?bidId=
D	17.46	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/449/Chapter-1746--Design-Review-Combining-District-or-D-District?bidId=
H	17.44	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/447/Chapter-1744--Historic-Combining-District-or-H-District?bidId=
HDP	17.45	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/448/Chapter-1745--Historic-Design-Preservation-Combining-District-or-HDP-Combining-District?bidId=
MX	17.48	https://www.tuolumnecounty.ca.gov/DocumentCenter/View/450/Chapter-1748--Mobile-Home-Exclusion-Combining-District-or-MX-District?bidId=

C-1 = General Commercial
M-U = Mixed Use

H = Historic
HDP = Historic Design Preservation

MX = Mobilehome Exclusion

Jamestown Design Guidelines

23. The Jamestown Design Guidelines can be found at this link:
 - <https://www.tuolumnecounty.ca.gov/DocumentCenter/View/2335/Jamestown-Design-Guidelines?bidId=>

The project site contains the (:D) Combining zoning district and is therefore subject to the Jamestown Design Guidelines. The HPRC has reviewed this project for conformance with the Jamestown Design Guidelines and their recommendation has been included below.

Cultural Resources

24. The project consists of restoring and converting the exterior façade of the primary structure, back to the Shell Gas Station that it once was and demolishing a secondary structure (the garage) amongst other site

improvements. The recorded Department of Parks and Recreation Primary Record Form (DPR Form) found in attachment #2, identifies that the (originally) Shell Gas Station dates back to 1938.

25. The Tuolumne County Database of Cultural Resources has been reviewed to determine the presence of known cultural resources on the project site. A cultural resource indicator as contained in Chapter 14.10(B) of the TCOC is present on the site as the primary structure is greater than 50 years in age. The indicator is the fact that the primary historical structure on the project site dates back to 1938, which therefore is more than 50 years of age. The Assessor's Office was contacted to locate a date of assessment for the barn structure which the date of assessment was determined to be around 1986 which indicates the structure may be 36 years of age.
26. The project site is documented in the *Historic Resources Inventory Jamestown, Tuolumne County, California* prepared in 2008 by Judith Marvin and Terry Brejla. The structure was recorded and documented on DPR forms (attachment #2). Primary number P-55-005448 is a recorded historical resource therefore, no further study was required. Furthermore, Section 14.10.030 (B) and (C) of the TCOC identifies exemptions from the requirement of a cultural resource study which this project meets. The potential for subsurface cultural resources exists; therefore, the project will include a condition to address the possibility of subsurface cultural resources being discovered during development of the site as required by Section 14.10.150 of the Ordinance Code.

Traffic

27. The project site's parking will be accessed via an encroachment off Seco Street in Jamestown. Seco Street is a publicly dedicated, County-Maintained Road. The Engineering Division of Public Works reviewed the proposed project and indicated that the encroachment may require use or modification to part of an existing commercial-type driveway currently located in the street sidewalk along Seco Street. The Public Works Department indicated that it should be widened as required to provide the full width of the commercial driveway throat, and to align with an existing gate near the gas station building. They also indicated that the existing driveway depression should be sawcut and removed to delete the implied driveway along that portion of frontage. The project has also been conditioned to conform to the geometric requirements of the TCOC sections 11.12 and 11.16.
28. Pursuant to Resolution 74-20 adopted by the Board of Supervisors on August 4, 2020, the proposed project would screen out of Vehicle Miles Traveled (VMT), as it is below the thresholds established by the Board. The project would screen out based on being a local serving retail project of less than 50,000 square feet, as identified by the adopted thresholds. Therefore, no mitigation is required as there are no impacts to VMT.
29. As determined by the Tuolumne County Board of Supervisors, the project proponent or subsequent developer is required to pay an appropriate Traffic Impact Mitigation Fee (TIMF) to mitigate the projects' impact on the County's circulation system, pursuant to Chapter 3.54 of the TCOC. The current TIMF for a low volume retail commercial use is \$807 per every 1,000 square feet. The existing and proposed structures combined is a total of 708 square feet. Therefore, the TIMF for the project based on the current fee schedule is as follows:

$$(\$807/1,000 \text{ square feet}) \times 708 \text{ square feet} = \$571.36$$

The project has been conditioned to require payment of the applicable TIMF. The TIMF will be calculated and due prior to the issuance of a certificate of occupancy issued by the Building and Safety Division. The project site is not located on road frontages listed in the Countywide Traffic Circulation Improvement Program that qualify for TIMF credits for Capital Improvement Projects.

Utilities

30. The project site is within the water service area of the Tuolumne Utilities District and the sewer service area of the Jamestown Sanitary District. The Jamestown Sanitary District (JSD) reviewed the project, and indicated that at the time of the Stakeholder Notification, they had not received an application from the project applicant and recommended that the applicant contact them as soon as possible. The information was forwarded to the applicant, and they will be working with JSD to provide necessary information.
31. The Tuolumne Utilities District (TUD) reviewed the proposed project and indicated that there is an existing 6-inch main located within the Seco Street right-of-way and a 10-inch main located within the Main Street right-of-way adjacent to the project site. TUD indicated that there is adequate capacity to serve the project, and that the property is currently served by a water service of unknown size located in the Main Street right-of-way, with an active utility billing account. TUD indicated that the project proponent must furnish information from the local fire authority regarding the required fire flow and duration before the district can determine if the existing distribution system has adequate capacity to meet the future project needs. TUD indicated that the project applicant is responsible for obtaining necessary permits and paying any necessary project fees.
32. Pacific Gas and Electric Company (PG&E) supplies electricity to the project site. PG&E was sent a stakeholder notification letter, but they did not provide a response. It is not anticipated that the proposed project would overburden electrical capacity. Three franchise waste haulers in Tuolumne County offer residential and commercial recycling and waste programs. Cal Sierra Disposal, Inc. and Burns Refuse Service offer residential curbside recycling in conjunction with refuse service, as well as commercial commingled recycling service. It is unknown which solid waste disposal service would potentially serve this location, but options exist. Based on the proposed use of the site as retail commercial, the project would not overburden electrical or waste/recycling facilities and there is capacity to serve the proposed project. No other municipal facilities are expected to be impacted by the proposed project.

Landscaping

33. Section 15.28.030 of the TCOC states that the minimum area required to be landscaped for commercial, industrial and multiple-family residential development projects that are subject to a Site Development Permit, on land zoned C, M, BP, M-U, R-3, or R-2 is ten percent (10%). Existing trees and other vegetation are encouraged to be retained and shall count toward meeting these requirements. Open Space or Open Space-1 zoning shall also count towards this requirement. For the 0.19± acre (10,148.73± square foot) parcel, a minimum of 1,014.87± square feet of landscaped area shall be required. This project has been conditioned to require the submittal of a landscape plan.

Historic Preservation Review Commission (HPRC) Recommendation

34. On September 12th, 2022, the HPRC recommended approval of the Historic Conditional Use Permit CUPH21-002 based on findings A – H.

Adjoiner Comments

35. Property owners within 300 feet of the project site were notified of the project via mail on December 22, 2021. A total of 82 property owners were notified. The CDD did not receive any public feedback from the adjoining properties.

Public Agency Review

36. The subject application was circulated to various State and County agencies. The agencies and departments listed below provided responses and conditions that would apply to the project.

Building and Safety Division

The Building and Safety Division of the CDD commented on the project and advised that the project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), that building permits are required for all non-exempt structures being constructed, and that the hours of construction shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction shall be prohibited on Sunday and County holidays.

Engineering Division

The Engineering Division of the CDD reviewed the proposed project and provided conditions which have been incorporated into the Conditions of Approval for the project. These conditions include the requirement of submittal and approval of grading plans, drainage plans, a parking area plan, lighting plan, encroachment plan, and an erosion control plan. The Engineering Division advised that the proposed driveways and parking areas will need to be constructed to Title 11 standards. The Engineering Division also indicated to avoid disturbance to any existing "Walk of Fame" medallions in the existing street sidewalk along the project frontage.

Fire Prevention Division

The Fire Prevention Division reviewed the proposed project and offered no comment on the project as proposed.

Jamestown Sanitary District (JSD)

JSD indicated that they have not received any preliminary plans or information on providing new sewer services to the site. As the project scope indicates providing new water and sewer utilities to the site, staff has incorporated Condition of Approval #4 for the proposed project.

Tuolumne Utilities District

The Tuolumne Utilities District (TUD) reviewed the proposed project and indicated that there is an existing 6-inch water main located within the Seco Street right of way and a 10-inch main located within the Main Street right-of-way adjacent to the project site that the development could tie into. TUD indicated that the property is currently served by a water service of unknown size located in the Main Street right-of-way, with an active utility billing account. TUD indicated that the project applicant is responsible for obtaining necessary permits and covering any fees.

Tuolumne Me-Wuk Tribal Council

The Tuolumne Me-Wuk Tribal Council requested that one of their Cultural Monitors be present while ground disturbance takes place. Staff has addressed this under Condition of Approval #11.

California Department of Transportation (Caltrans)

Caltrans reviewed the proposed project and requested that staff forward any environmental documents to their department. Staff indicated to Caltrans that once an environmental document has been determined, staff will forward them a copy. As indicated in this report a Notice of Exemption and Notice of Determination have been deemed appropriate for this project by the County's Environmental Coordinator, and a copy will be sent to Caltrans.

Tuolumne Heritage Commission

The Tuolumne Heritage Commission indicated that if the barn structure was in excess of 50 years of age, the Historic Preservation Review Commission (HPRC) Demolition Committee must first review the application. As indicated in item #25 of this staff report, the Assessor's Office was contacted to locate a date of assessment for the barn structure which the date of assessment was determined to be around 1986. Therefore, staff determined that a demolition review was not necessary for this project.

Zone Change Findings

37. Chapter 17.70 of the TCOC requires that evidence be shown that the proposed project meets the necessary findings for a zone change. Below are the required findings, and staff's responses to each requirement:

A. The proposed Zone Change is consistent with the Tuolumne County General Plan.

Consistency with the General Plan is discussed and demonstrated in sections #6 through #9 above in this report.

B. The proposed Zone Change is in accordance with the Tuolumne County Ordinance Code.

Consistency with the Tuolumne County Ordinance Code is discussed and demonstrated in #11 through #21 above in this report.

C. The project site is suited to the uses permitted under the proposed zoning district.

The project site conditions are discussed in #1 and #2 above in this report. The proposed M-U zoning district has been determined to appropriate for the site conditions and the existing/proposed uses on site. Please see sections #11 through #21 in this report for additional information and evidence.

D. The potential significant environmental impacts of the proposed project were adequately addressed in a previously prepared Environmental Impact Report; therefore, no further environmental review is required for the project under the California Environmental Quality Act (CEQA) pursuant to Section 15162 of the *State CEQA Guidelines*.

Site Development Permit Findings

33. Chapter 17.68 of the TCOC requires that evidence be shown that the proposed project meets the necessary findings for a Site Development Permit. Below are the required findings for a Site Development Permit application and staff's responses to each point.

A. The proposed development is consistent with the Tuolumne County General Plan.

Consistency with the General Plan is discussed and demonstrated in sections #6 through #8 above in this report.

B. The proposed development is in accordance with the Tuolumne County Ordinance Code.

Consistency with the Tuolumne County Ordinance Code is discussed and demonstrated in #11 through #21 above in this report.

C. Under the circumstances of the particular case, the proposed use will not be substantially detrimental to the health, safety or general welfare of persons residing or working in the neighborhood of such proposed use or be substantially detrimental or injurious to property and improvements in the neighborhood.

The proposed project will be constructed in accordance with all County and State of California building and fire codes and regulations. The development and operation of a retail commercial use will not involve the use of hazardous materials. Therefore, people living or working near the facility

will not experience a decrease in their health, safety or welfare and there would be no substantially detrimental or injurious results to property or improvements in the neighborhood.

- D. The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to Sections 15301(l)(4) and 15303(c) of the *State CEQA Guidelines*.

PREPARED BY: Cheydi Gonzales, Land Use Coordinator

Property Owner: John Gray

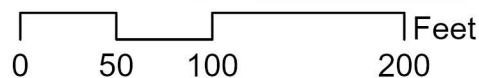
Applicant Information:

Reuben Chirnside, Project Engineer
Land and Structure
105 South Stewart Street
Sonora, CA. 95370
209-532-5173

List of Attachments:

Attachment #1: Agenda Map
Attachment #2: Recorded DPR Form
Attachment #3: Site Plan
Attachment #4: Elevations
Attachment #5: Proposed Colors
Attachment #6: Tables 14.06(B) and 14.06(C) of the TCOC
Attachment #7: Conditions of Approval for SDP21-007 and CUPH21-002
Attachment #8: Comment letters

S:\Planning\PROJECTS\Site Development Permit\2021\SDP21-007 (CUPH21-002) Gray\TCPC\TCPC_Agenda Report (Gray) .doc

 Project Area

General Plan

 MU

 GC

 HDR MDF

 P

State of California—The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # P-55-005448

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 5*Resource Name or #: (Assigned by recorder) 18223 Main Street; JS-26P1. Other Identifier: Shell Gasoline Station (#10 in 1983 survey)*P2. Location: ☐ Not for Publication ☒ Unrestricted*a. County Tuolumne

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Sonora, Calif. Date 1987 T 1N R 14E, NW ¼ of SE ¼ of Sec. 10; MDBMc. Address 18223 Main Street City Jamestown Zip 95327d. UTM: (Give more than one for large and/or linear resources) Zone 10 mE/ _____ mNe. Other Locational Data: e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 003-112-06 (Lot 50, Bl 5)

*P3a. Description: Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries). Dating to 1938, this Art Moderne gasoline station was in original condition when surveyed in 1983, but has now undergone several alterations. Originally a square metal structure with multi-light windows on the front and sides, with a central door, the windows have now been replaced or covered with T-111 vertically grooved patterned plywood. The central front door has also been covered and is now flanked with casement windows. An addition has been made to the north elevation, clad in plywood, with an entry door and storefront window. It originally was just an overhang for auto repair, while the western canopy held the pumps and service area. Metal posts with curved support brackets are featured on the west end of the front projection. A plain entablature courses around the prominent overhangs and bordered with decorative molding. A small square structure, the parts building, was also glassed in on three sides with a shed addition to the rear. It has also now been clad in plywood.

*P3b. Resource Attributes: (List attributes and codes) HP6, One story gasoline station*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View east

5 May 2008, IMG-2876

*P6. Date Constructed/Age and

Sources: ☒ Historic☐ Prehistoric ☐ Both1938

*P7. Owner and Address:

Wilma & Paul Barendregt, Tr

P.O. Box 515

Jamestown, CA 95327

*P8. Recorded by: (Name, affiliation, address)

Judith Marvin, Terry Brejla

Foothill Resources, Ltd.

P.O. Box 2040

Murphys, CA 95247

*P9. Date Recorded: 1 May 2008

*P10. Survey Type (Describe):

Reconnaissance survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historic Resources Survey, Inventory, and Evaluation of Jamestown, Tuolumne County, California. Judith Marvin and Terry L. Brejla. Submitted to the County of Tuolumne by Foothill Resources, Ltd., 2008.

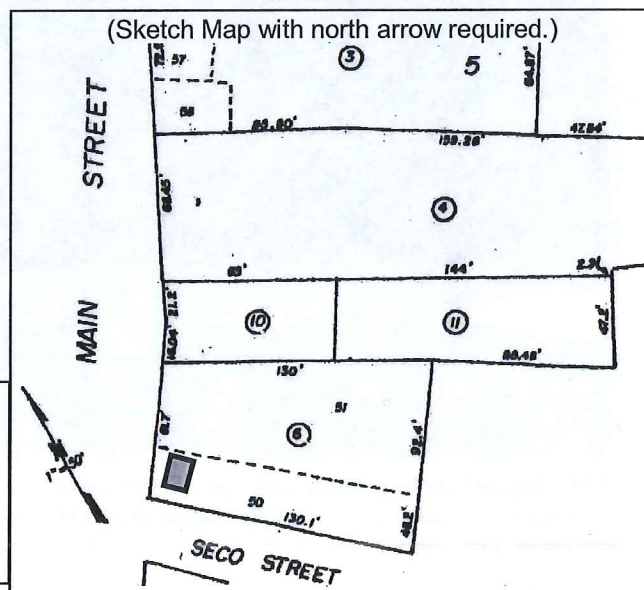
*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☒ Other (List) 1983 Record

Page 2 of 5

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 18223 Main Street; JS-26

- B1. Historic Name: Shell Station
B2. Common Name:
B3. Original Use: Gas station B4. Present Use: Commercial retail
*B5. Architectural Style: Art Moderne
*B6. Construction History: (Construction date, alterations, and date of alterations)
Constructed 1938; original windows removed, metal siding completely replaced with and northern overhang enclosed with T-111 vertically grooved patterned plywood, ca. 1995.
*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: Original Location:
*B8. Related Features: Former restroom located to east rear of parcel.
B9a. Architect: Unknown b. Builder: Unknown
*B10. Significance: Theme Commercial development Area Jamestown
Period of Significance 1930s Property Type Commercial Applicable Criteria N/A
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)
Jamestown's history reflects in microcosm the state's history beginning with the Gold Rush. Discovered in August 1848, the Woods Creek placers at Jamestown eventually yielded millions of dollars in gold. When the easily mined gold gave out, the town remained a trade and supply depot for mining higher in the foothills, with a prime location on the roads from the Central Valley, and agriculture flourished beginning in the 1860s with the aid of the ditches constructed to bring the water from the mountains. The "Second Gold Rush" of the 1890s-1910s, the result of advancements in technology and the infusion of foreign capital, granted new life to the town, surrounded as it was by the Mother Lode itself. But it was the coming of the Sierra Railway in 1897 that cemented Jamestown's status. The railroad transported the bounty of Tuolumne County's natural resources, including minerals, cattle, produce, and in particular lumber, to the waiting markets in California and across the country. The railroad also facilitated the dam construction projects of the 1910s-1940s and brought film crews to the area, providing another relatively stable source of income. When a wave of nostalgia began in the 1930s for California's real and imagined romantic past, Jamestown was ideally situated to capitalize on it, and continues to be a destination for tourists seeking the "real" Mother Lode of California's past. The building is not recommended as eligible for the National and California registers, because it lacks integrity of materials and design. While it is associated with the commercial development of Jamestown, it no longer maintains sufficient integrity of design, materials, or feeling to convey that association, nor does it appear eligible under Criteria B or D.
- B11. Additional Resource Attributes: (List attributes and codes)
*B12. References:
B13. Remarks:
*B14. Evaluator: Judith Marvin, Terry Breja
Foothill Resources, Ltd., P.O. Box 2040, Murphys, CA
95247
*Date of Evaluation: 21 September 2008
- (Sketch Map with north arrow required.)
-



(This space reserved for official comments)

State of California—The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
LOCATION MAP

Primary # P-55-005448

HRI #

Trinomial

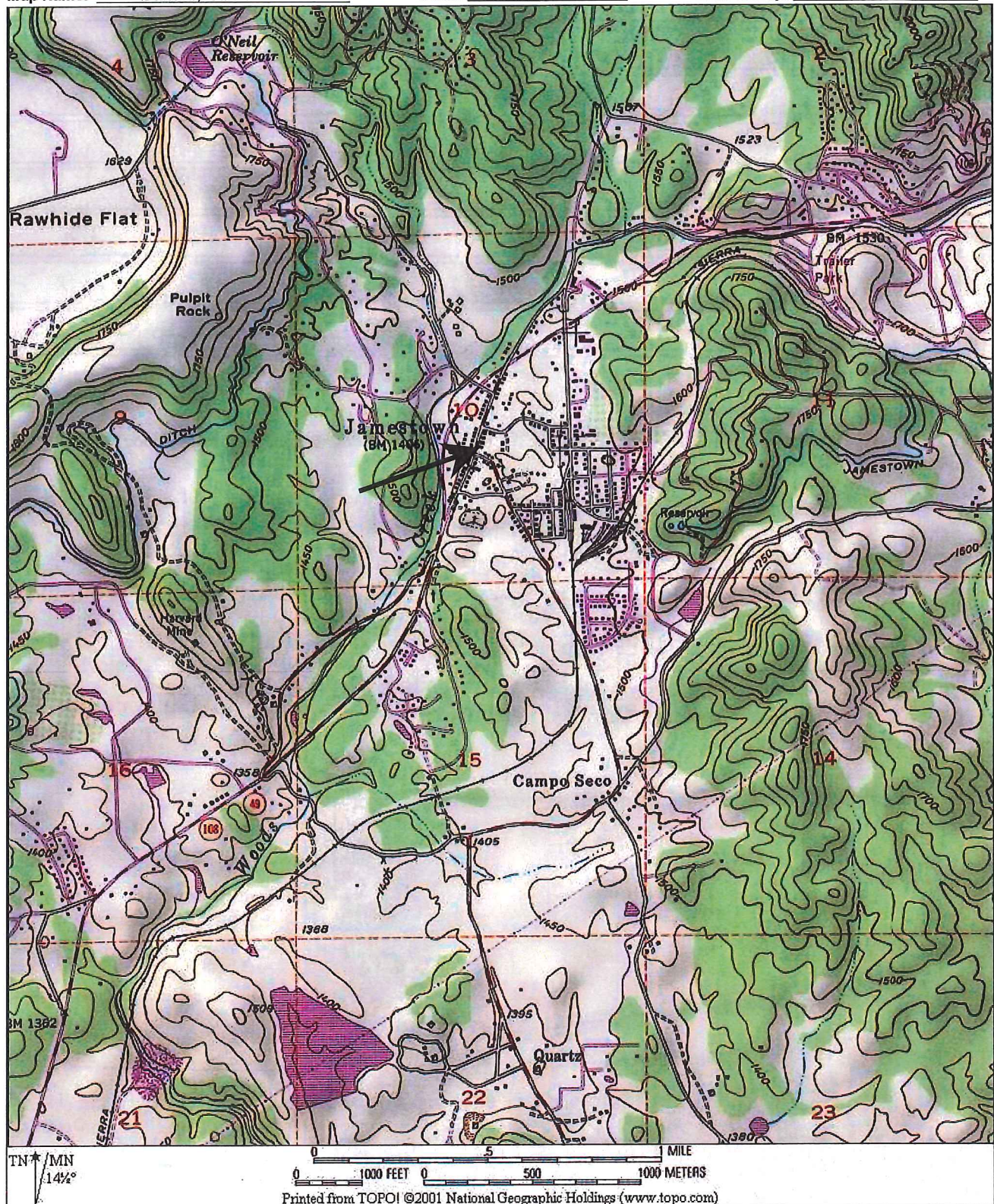
Page 3 of 5

*Resource Name or # (Assigned by recorder) 18223 Main Street; JS-26

*Map Name: Sonora, Calif.

Scale: 1:24000

Date of Map: 1948 PR 1987



HISTORIC RESOURCES INVENTORY

Ser. No. _____
HABS _____ HAER _____ NR 3 SHL _____ Loc _____
UTM: A 10/726525/4203590
C _____ D _____

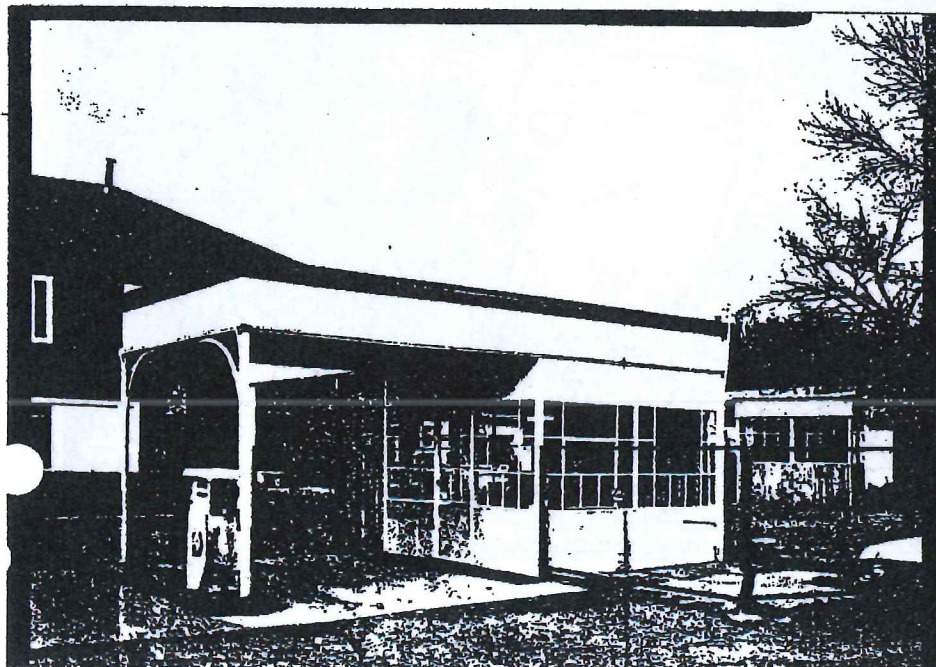
IDENTIFICATION

1. Common name: Shell Service Station #10
2. Historic name: Shell Service Station
3. Street or rural address: Main Street
City Jamestown Zip 95327 County Tuolumne
4. Parcel number: 3-112-06-0
5. Present Owner: Paul Barendregt, et al Address: _____
City Jamestown Zip 95327 Ownership is: Public _____ Private X
6. Present Use: Empty Original use: Service Station

DESCRIPTION

- 7a. Architectural style: Art Moderne
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

The Shell Service Station is a metal structure consisting of a square room with two large overhangs to the north and west. The pivotal room has glass paned walls above metal wainscoting on all sides. The northern overhang was for repairs while the western covered area held the pumps and service area. Metal posts with curved support brackets are featured on the west end of this projection. To the rear of the lot is a small square structure, the parts building, which is glassed in on three sides similarly to the room of the larger garage feature; A shed addition has been added to the rear. A plain entablature runs around the prominent overhangs bordered by decorative molding.



8. Construction date:
Estimated _____ Factual 1938
9. Architect Unknown
10. Builder Unknown
11. Approx. property size (in feet)
Frontage 62' Depth 130'
or approx. acreage _____
12. Date(s) of enclosed photograph(s)
March 1983

13. Condition: Excellent X Good _____ Fair _____ Deteriorated _____ No longer in existence _____

Alterations: None

15. Surroundings: (Check more than one if necessary) Open land _____ Scattered buildings X Densely built-up _____
Residential _____ Industrial _____ Commercial X Other: _____

16. Threats to site: None known X Private development _____ Zoning _____ Vandalism _____
Public Works project _____ Other: _____

17. Is the structure: On its original site? Yes Moved? _____ Unknown? _____

18. Related features: 2 structures on site

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

One of the early gas stations constructed in Jamestown, the structure is significant not only for representing this important introduction of the automobile but for its architectural quality. Virtually unchanged from its initial construction, it is a well-known historic landmark along Main Street.

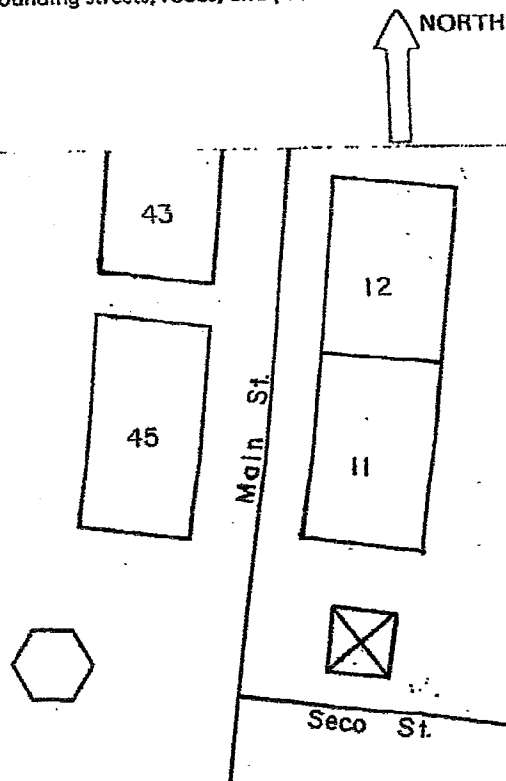
20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
Architecture X Arts & Leisure _____
Economic/Industrial _____ Exploration/Settlement _____
Government _____ Military _____
Religion _____ Social/Education _____

21. Sources (List books, documents, surveys, personal interviews and their dates).

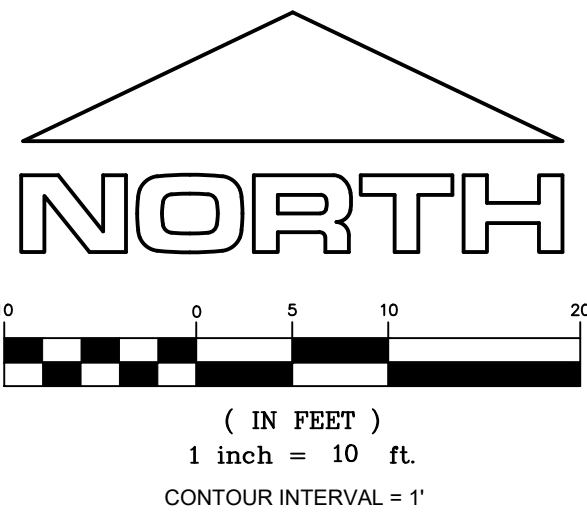
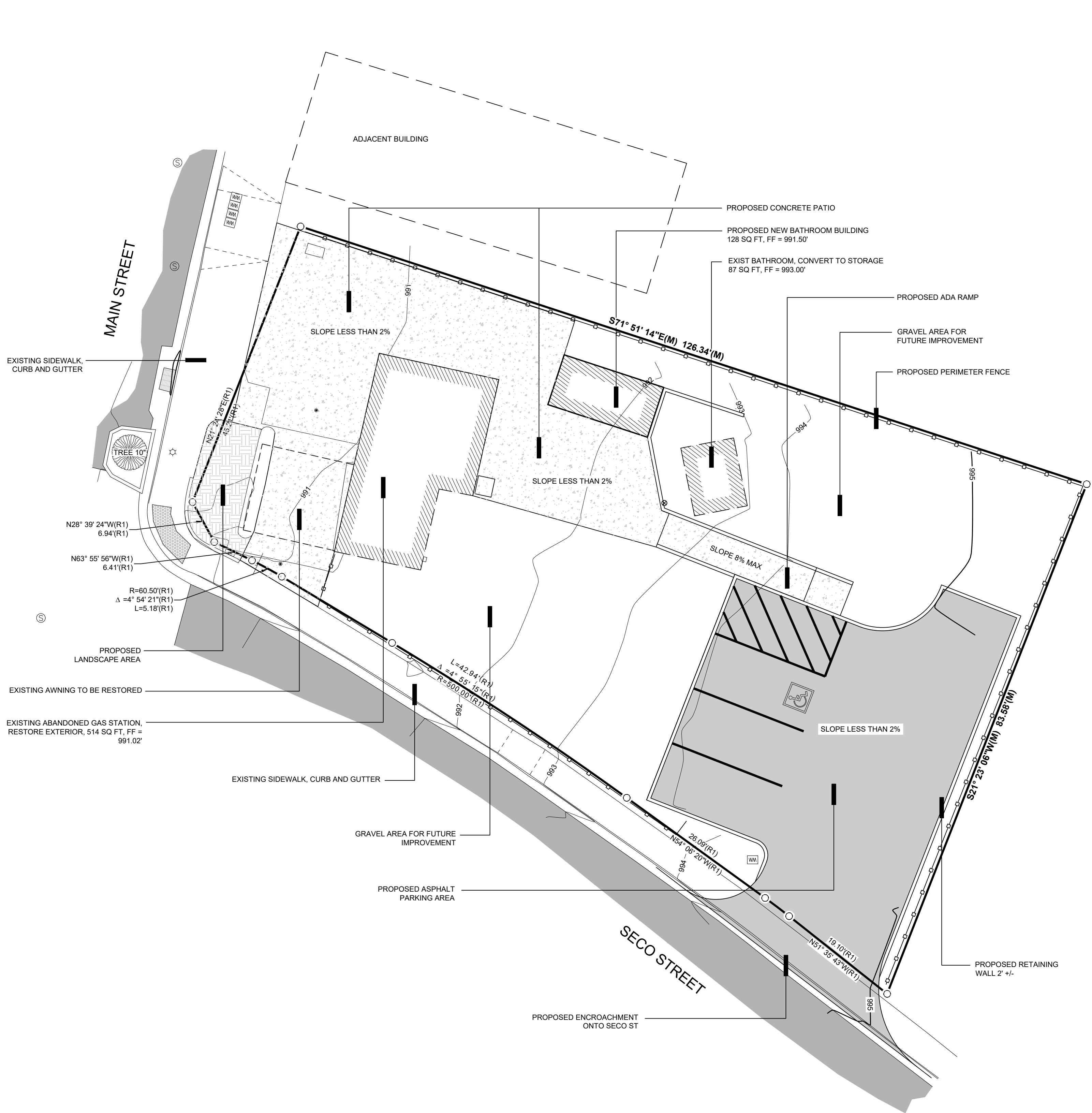
Assessor's Rolls

22. Date form prepared April 1983
By (name) J. Costello/J. Gorsuch
Organization Jamestown Hist. Site Survey
Address: 20685 Gaughan Ct.
City Soulsbyville Zip 95372
Phone: 209-532-7922

Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



SITE REVIEW APPLICATION PLAN FOR:
JOHN GRAY
18223 MAIN ST. JAMESTOWN, CA. 95370



OWNER INFORMATION

OWNER: JOHN GRAY
MAILING ADDRESS: 4414 PALMERO DR.
LOS ANGELES, CA 90065
PHONE: (213) 479-8404

SITE INFORMATION

ADDRESS: 18223 MAIN ST., JAMESTOWN CA. 95370
A.P.N.: 003-112-006
M.O.R.: 45 R/S 95
LOT SIZE: ±0.19 ACRES (NET)
SEWER: JAMESTOWN SANITARY DISTRICT
WATER: TUD
GENERAL PLAN: MU
ZONING: C-1 : D : H : HDP : MX PROPOSED ZONING: MU : D : H : HDP : MX
LOT ELEVATION: ±1415'

NOTES

- 1) - ALL BEARINGS AND DISTANCES SHOWN ARE RECORD UNLESS OTHERWISE NOTED
- 2) - THIS MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. ALL BEARINGS AND DISTANCES SHOWN ARE RECORD AS NOTED.
- 3) - PRIOR TO COMMENCING ANY CONSTRUCTION ON THIS SITE IT IS ADVISED THAT ALL INVOLVED PARTIES REVIEW SECTION 8771 AND SECTION 8725 OF THE BUSINESS AND PROFESSION CODE, SECTION 605 OF THE CALIFORNIA STATE PENAL CODE AND SECTION 27581 OF THE GOVERNMENT CODE TO ENSURE THAT MONUMENT CONSERVATION HAS BEEN PROPERLY ADDRESSED.
- 4) - ELEVATIONS SHOWN ON THIS SITE PLAN ARE BASED ON AN ASSUMED ELEVATION OF 991.13 AT POINT #200 WHICH IS A NAIL & TAG L.S. 7403 SET IN CONCRETE SIDEWALK.
- 5) - BUILDING SETBACKS ARE DESIGNATED PER TCOC 17.56.020 AS FOLLOWS:

IN C-1 DISTRICT'S NO BUILDING SHALL BE LOCATED CLOSER THAN THIRTY-FIVE FEET TO THE CENTERLINE OF ANY PUBLIC STREET OR RIGHT-OF-WAY

IN HISTORIC DESIGN PRESERVATION (HDP) DISTRICTS, BUILDINGS SHALL BE EXEMPT FROM THE BUILDING SETBACKS ESTABLISHED IN 17.56.020. THE BUILDING SETBACKS SHALL BE THE SAME AS THAT ESTABLISHED BY THE HISTORIC BUILDINGS WITHIN THE HISTORIC PRESERVATION DISTRICT. ANY IMPROVEMENTS SHOULD

ANY IMPROVEMENTS SHOULD BE VERIFIED BY TOULUMNE COUNTY PLANNING DEPARTMENT FOR COMPLIANCE WITH THESE SETBACKS

PROJECT DESCRIPTION

REZONE THE PARCEL FROM C-1 TO M-U TO BE CONSISTENT WITH THE GENERAL PLAN LAND USE DESIGNATION OF MU.

RESTORE THE EXTERIOR FACADE OF THE EXISTING GAS STATION BUILDING. CONSTRUCT A NEW STAND ALONE BATHROOM BUILDING CONTAINING (2) ACCESSIBLE BATHROOMS. RESTORE EXTERIOR FACADE OF EXISTING BATHROOM BUILDING FOR USE AS STORAGE. DEMOLISH EXISTING WOODEN BARN AND CONSTRUCT 3 STALL PARKING AREA. REMOVE EXISTING ASPHALT AND CONCRETE SURFACING BETWEEN GAS STATION AND MAIN STREET AND CONSTRUCT NEW CONCRETE SURFACE. CONSTRUCT NEW CONCRETE PATIO BEHIND GAS STATION AND ACCESSIBLE PATHWAY TO PARKING AREA. INSTALL NEW LANDSCAPING AT THE INTERSECTION OF MAIN ST AND SECO ST AND INSTALL PERIMETER FENCING AS SHOWN ON SITE PLAN. PROVIDE NEW WATER AND SEWER AND ELECTRICAL SERVICE TO THE SITE. A SECTION OF THE CENTER OF THE PROPERTY IS TO BE LEFT AS A GRAVEL SURFACE PENDING FUTURE DEVELOPMENT.

GRADING AND DRAINAGE

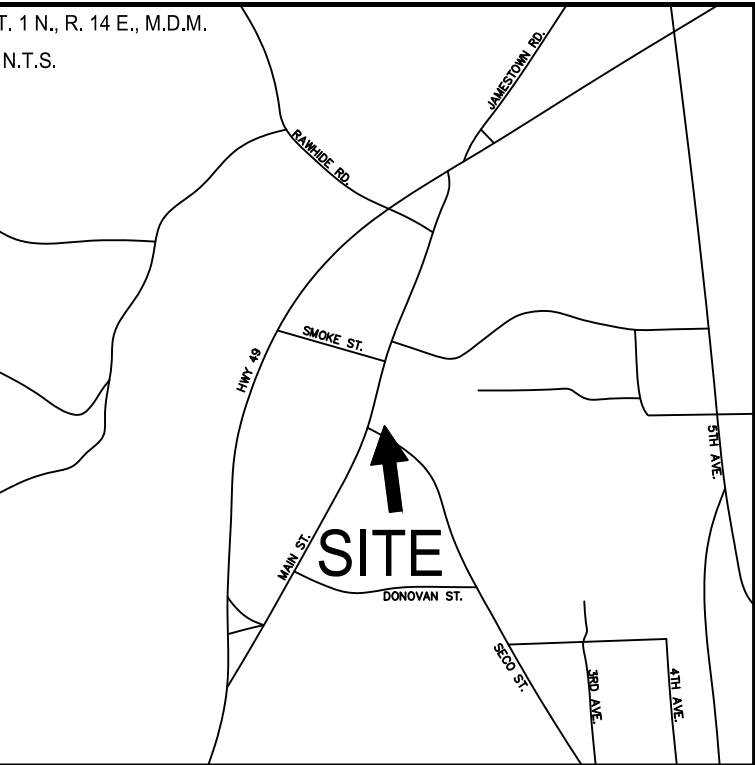
PRELIMINARY QUANTITIES INCLUDE:
EXCAVATION / FILL: 100 - 150 CUBIC YARDS
ASPHALT PAVING: 2000 SQ FT +/-
CONCRETE SURFACE: 1700 SQ FT +/-
2 - 3' RETAINING WALL: 230 LINEAR FEET +/-
FENCING: 270 LINEAR FEET +/-

EXISTING STORM WATER DRAINAGE FLOWS OFFSITE TO MAIN STREET AND TO SECO STREET. THERE IS NOT UNDERGROUND STORM WATER CONVEYANCE ON SITE. NO PLAN HAS BEEN DEVELOPED FOR SITE STORM WATER AT THIS STAGE.

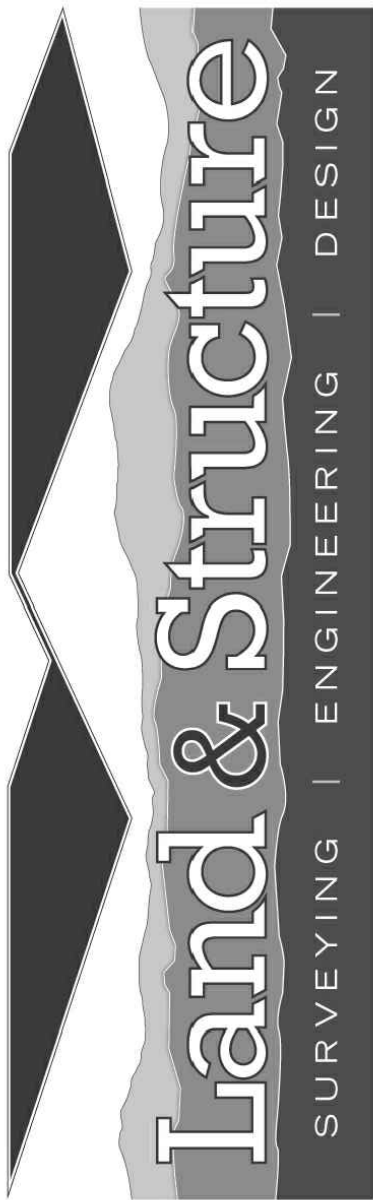
LEGEND

- - RECORD LOCATION OF MONUMENT PER (R1)
- - CALCULATED POINT, NOTHING FOUND OR SET.
- (R1) - RECORD PER 45 R/S 95
- - - BUILDING SETBACK LINE (B.S.L.) PER T.C.O.C. CHAPTER 17.56
- - - PUBLIC UTILITY EASEMENT (P.U.E.)
- - - WOOD FENCE
- - - CONCRETE
- - - PAVEMENT
- - - BUILDING
- WM - WATER METER
- SM - SEWER MANHOLE
- SC - SEWER CLEANOUT
- SP - SIGN POLE
- LP - LIGHT POLE
- BP - 6" BOLLARD
- UT - UNSPECIFIED TREE

VICINITY MAP



PROPOSED SITE PLAN



REVISIONS:

rev	date	description
1	10/27/21	Added rezone

OWNER INFORMATION:

John Gray
4414 Palmero Dr.
Los Angeles, CA 90065
Ph (213) 479-8404

SITE INFORMATION:

APN: 003-112-006
18223 Main St.
Jamestown, CA 95370

PROJECT INFORMATION:

A Site Plan for:
John Gray
18223 Main St.
Jamestown, CA 95370
Ph (213) 479-8404

ENGINEER OF RECORD:

ISSUE DATE: 10/27/21

DRAWN BY: BTD

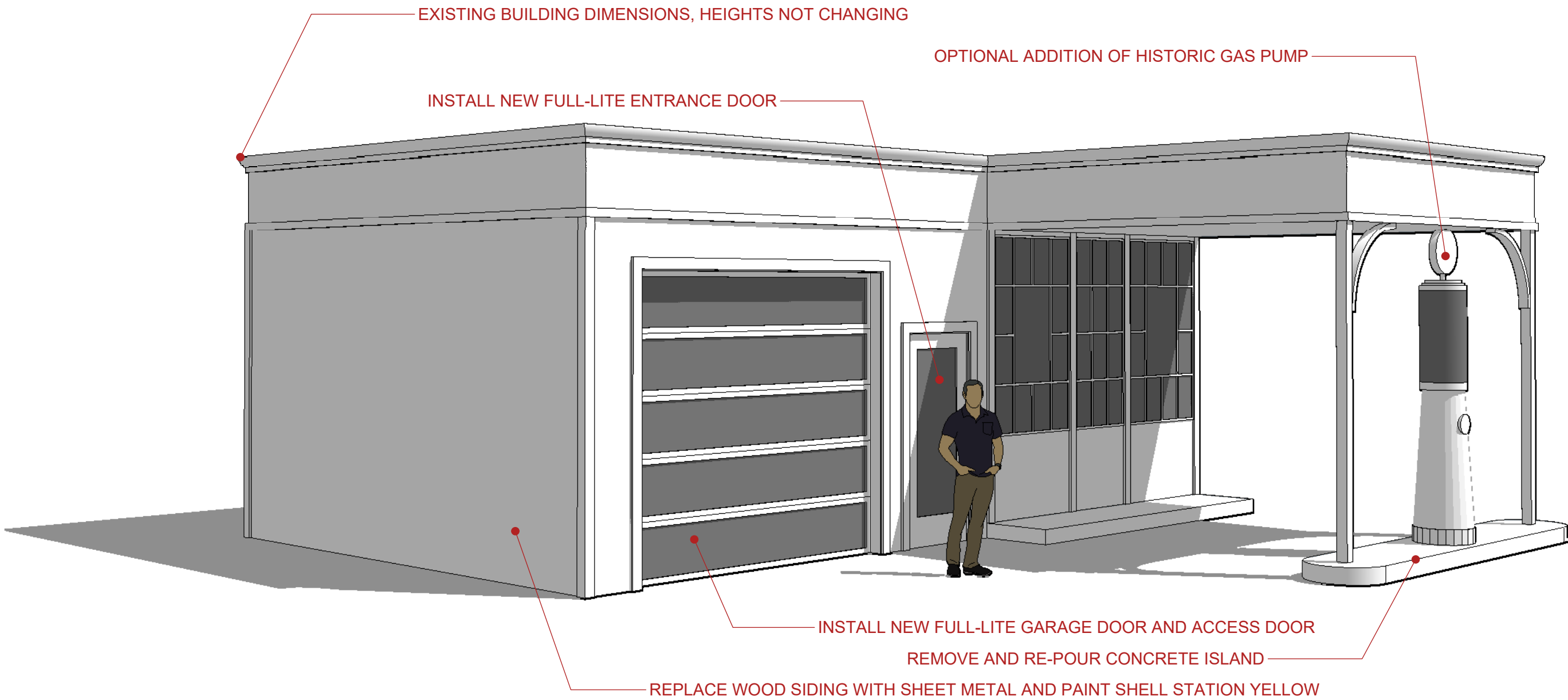
CHECKED BY: ZPG

SCALE: 1"=10'

DRAWING: Site Plan

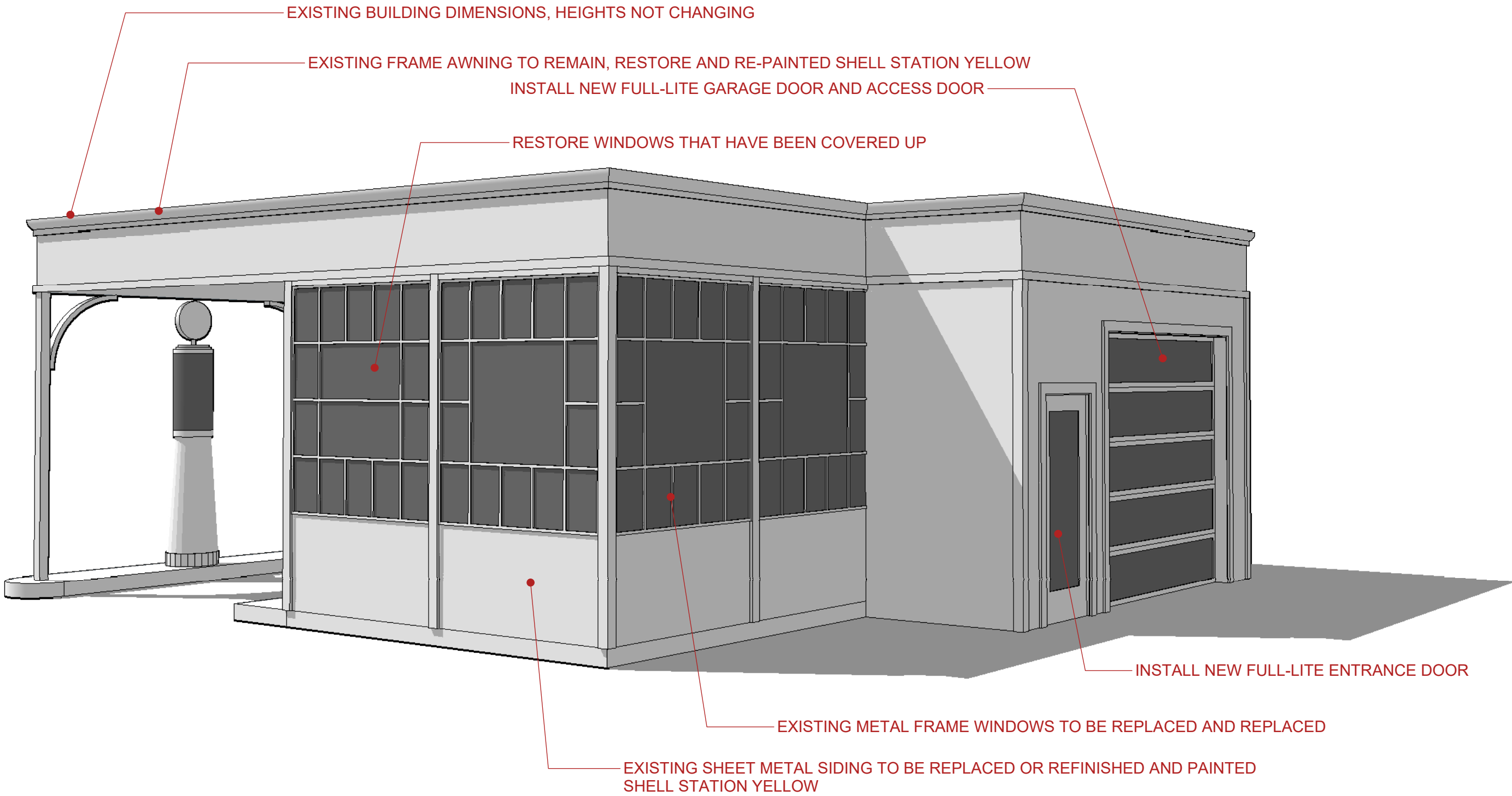
PROJECT NO: 20-10.18

SHEET: 1 OF: 1



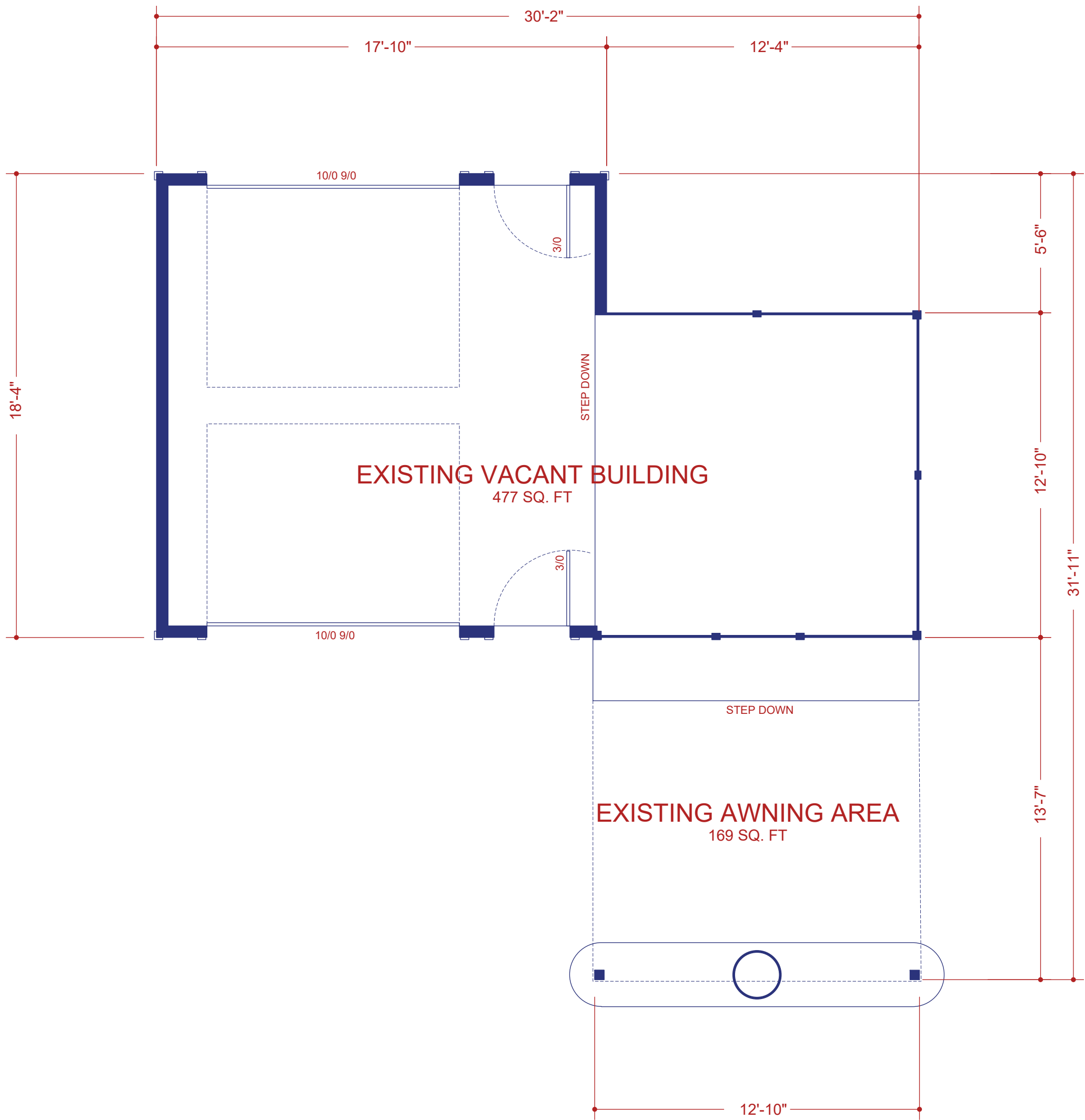
NOT TO SCALE

FRONT LEFT ELEVATION



NOT TO SCALE

REAR RIGHT ELEVATION



SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLAN

PROJECT DIRECTORY

PROJECT APPLICANT:
OWNER: JOHN GRAY JR.
MAILING ADDRESS: 4414 PALMERO DR.
LOS ANGELES, CA. 90065
PHONE: (213) 479-8404

CIVIL ENGINEER:
ENGINEER OF RECORD: ZACHARIAH GARMAN, CE
MAILING ADDRESS: LAND AND STRUCTURE
105 SOUTH STEWART ST.
SONORA, CA 95370
PHONE: (209) 532-5173

PROJECT SCOPE

EXTERIOR RESTORATION OF EXISTING BUILDING AND SITE IMPROVEMENT.

SITE INFORMATION

ADDRESS: 18223 MAIN STREET
JAMESTOWN, CA. 95370
A.P.N.: 003-112-006-000
LOT SIZE: 45 R/S 95
SEWER: ± 0.19 ACRES
WATER: JAMESTOWN SANITARY DISTRICT
POWER: T.U.D.
GENERAL PLAN: PG&E
ZONING: MU
LOT ELEVATION: C-1; D; H: HDP: MX
± 1415'

BUILDING DIMENSIONS

CONSTRUCTION TYPE: V-B
BUILDING OCCUPANCY: VACANT / UNDEFINED
BUILDING AREA: 477 SQ. FT.
AWNING AREA: 169 SQ. FT.

PROJECT GRADING

REFER TO SITE PLAN.



105 SOUTH STEWART STREET SONORA, CALIFORNIA 95370 T: 209.532.5173 F: 209.532.5220

REVISION:

Rev.	Date	Description
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OWNER INFORMATION:
John Gray Jr.
4414 Palmero Dr.
Los Angeles, CA. 90065
Phone: 213.479.8404
Email: johngrays@gmail.com

SITE INFORMATION:
APN: 003-112-006-000

PROJECT INFORMATION:

A New Project for:
John Gray Jr.
18223 Main Street
Jamestown, CA. 95370

ENGINEER OF RECORD:

These drawings and specifications are the property of the engineer and shall not be used on any other work except by agreement with the engineer. Written dimensions shall take preference over scaled dimensions and shall be verified on site. Any discrepancy shall be brought to the notice of the engineer prior to commencement of any work.

ISSUE DATE: June 9, 2021

DRAWN BY: JK

CHECKED BY: ZG, KQ

SCALE: AS NOTED

DRAWING: Floor Plan

PROJECT NO.: 20-10.18



Attachment # 5

RECEIVED

JUL 07 2021

Community Development
Department



RECEIVED

JUL 07 2021

**Community Development
Department**

Attachment # 6

TABLE 14.06(B)
DETERMINING CULTURAL RESOURCE PRIORITY DESIGNATIONS
FOR RESOURCES WHICH ALREADY HAVE BEEN
EVALUATED BY A QUALIFIED PROFESSIONAL

PRIORITY DESIGNATION	CRITERIA FOR ASSIGNING CULTURAL RESOURCE PRIORITY DESIGNATIONS
Priority 1	A resource listed on the National Register of Historic Places (National Register of Historic Places designation of 1)
Priority 2	<p>A resource:</p> <ol style="list-style-type: none"> 1. Determined to be eligible for or potentially eligible for listing on the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 2, 3, or 4; or 2. Listed on or officially designated as eligible for the California Register of Historical Resources; or 3. Listed on the Tuolumne County Register of Cultural Resources; or 4. A resource listed as a contributing resource in a cultural resource inventory within an existing HDP zone or which is eligible to be included within an HDP zone.
Priority 3	A resource determined to be eligible for listing in the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 5.
Priority 4	A resource determined to be ineligible for listing on the National Register of Historic Places based upon an inventory of the resource resulting in a National Register of Historic Places designation of 6; and determined to be ineligible for listing on the California Register of Historical Resources; and determined to be ineligible for listing on the Tuolumne County Register of Cultural Resources.

TABLE 14.06(C) - CRITERIA FOR ESTABLISHING CULTURAL RESOURCES PRIORITY DESIGNATIONS FOR RESOURCES WHICH HAVE NOT PREVIOUSLY BEEN EVALUATED

FACTOR	PRIORITY 1 (See preceding page)	PRIORITY 2 (2 points)	PRIORITY 3 (3 points)	PRIORITY 4 (4 points)	SCORE
INTEGRITY (retention of essential qualities of historic character): <ul style="list-style-type: none"> ● Location - remains in original location ● Design - accurately reflects original plan or components of the resource as a whole reflect design compatibility; retains much of its original feeling ● Setting - buildings, structures, sites, or objects associated with a later development period have not intruded on surrounding area to extent that original context is lost ● Materials - physical elements present during period(s) of significance remain, or, if replaced, replacements are compatible with period(s) of significance ● Workmanship - original character of construction details remains and have not deteriorated or been disturbed to the extent that their value as examples of craftsmanship have been lost ● Restoration - feasibility of restoring resource, if necessary ● Feeling - resource expresses the historic or aesthetic sense of a particular period of time 	Pristine in all 7 integrity categories, almost entirely unmodified from original exterior appearance, original design features peculiar to style still in place	Superior integrity in at least 3 categories, limited modification from its original exterior appearance, capable of being easily restored to near original exterior appearance	Moderate integrity in at least one category, in average or below average physical condition with no more than a moderate level of modification from its original exterior appearance, could be restored with moderate effort to original appearance	Fair to poor integrity in all categories, in poor physical condition, and/or has had major alterations from original appearance, cannot be restored to original appearance without reconstruction of more than half of the resource.	
AGE	140 years old or older	100 years old or older	75 years old or older	50 years old or older	
CONTEXT/ASSOCIATION - Associated with broad themes, persons, events, movements, organizations, or patterns associated with the cultural, social, political, economic, religious, scientific, educational, military, agricultural, engineering, or industrial history important to the county, state, or nation. These associations will often be linked to one of the following six themes: transportation and communication; mining; water; ethnicity and social systems; agriculture; industry, commerce and tourism.	Resource has central association with theme(s)	Resource has a direct association with theme(s)	Resource has an indirect association with theme(s)	Resource has distant association with theme(s)	
DESIGNER - Designed or built by architect, engineer, notable master builder, artist, or other designer who has made an important contribution to the county, state or nation. Emphasizes overall designer contributions rather than the aesthetic merits of the design itself.	Designer who made important contributions to county and to state or nation	Designer who made important contributions to the county	Designer known, nonprofessional associated with single resource	Designer unknown	
ARCHITECTURAL STYLE OR BUILDING TYPE - Associated with a particular architectural style or building type, including the vernacular, important to the county, state, or nation.	Retains all attributes associated with its style or type or is a good example of its style if few survive	Retains most of the attributes associated with its style or type or is remodeled in a recognized style that does not destroy the original style or type	Retains few, but sufficient attributes associated with its style or type	Undecipherable as a style or type or is one of many examples of its style or type	
CONSTRUCTION MATERIALS - Embodies elements demonstrating outstanding attention to design, detail, craftsmanship; or outstanding use of particular structural material--especially the use of indigenous materials, surface, or method of construction or technology.	Outstanding or very early example if few survive (e.g., adobe)	Outstanding or very early example if many survive; good example if few survive	Good example if there are many examples of any material(s) and/or method(s) not generally in current use	Common example of any method(s) and/or material(s)	
TRADITIONAL LIFE WAYS - Traditional LIFE WAYS pertain to the association between a tradition, or cultural pattern, and the cultural resource which recalls the tradition and the age in which the tradition or cultural pattern was practiced.	Resource has a central association with a tradition spanning three or more generations.	Resource has a direct association with a tradition spanning three or more generations.	Resource has a direct association with a tradition spanning two generations or an indirect association with a tradition spanning two or more generations.	Resource has a distant association with a tradition spanning two or more generations.	
CONVEYS IMPORTANT SENSE OF TIME AND PLACE - The resource has prominence which contributes to a historic, visual, or environmental continuity. A typical resident of the area would notice the resource and remember it/them.	An individual resource or a unified urban or rural landscape which defines a period 100 or more years ago.	An individual resource or a unified urban or rural landscape which defines a period 75 or more years ago.	An individual resource or a unified urban or rural landscape which defines a period 50 or more years ago.	An individual resource which does not define a period 50 or more years ago.	
TOTAL SCORE (TOTAL OF INDIVIDUAL SCORES DIVIDED BY 8)					

Attachment # 7

CONDITIONS OF APPROVAL FOR SITE DEVELOPMENT PERMIT SDP21-007 HISTORIC CONDITIONAL USE PERMIT CUPH21-002

General Conditions:

1.	LU	As a condition of the grant of approval of this Permit, and as a continuing condition of approval of the Permit, developer/permittee/applicant/property owner/subdivider, and the successor in interest shall defend, indemnify, save and hold harmless the County of Tuolumne, its elected and appointed officials, officers, agents, employees and volunteers from any and all claims, actions, proceedings, or liability of any nature whatsoever (including attorney's fees and costs awards) arising out of, or in connection with the County's review or approval of the application or project on which this condition is imposed, or arising out of or in connection with the acts or omissions of the above described person, and his/her/its agents, employees, or contractors, during any work performed in connection with the application or project. With respect to review or approval, this obligation shall also extend to any effort to attack, set aside, void, or annul the approval of the project including any contention the project approval is defective because a county ordinance, resolution, policy, standard, or plan is not in compliance with local, state or federal law. With respect to acts or omissions of the above-described person and his/her/its agents, employees, or contractors, the obligation hereunder shall apply regardless of whether the County prepared, supplied, or approved plans, specifications or both. If the defense right is exercised, the County Counsel shall have the absolute right to approve any and all counsel employed to defend the County. To the extent the County uses any of its resources to respond to such claim, action or proceeding, or to assist the defense, the above-described person will reimburse County upon demand. Such resources include, but are not limited to, staff time, court costs, County Counsel's time at its regular rate for non-County agencies, or any other direct or indirect cost associated with responding to, or assisting in defense of, the claim, action, or proceedings. For any breach of this obligation the County may, without notice, rescind its approval of the application or project to which this covenant/condition is attached. (TCOC, Section 17.68.150)
2.	BD	Building Permits are required for all non-exempt structures being constructed on this project site pursuant to Section 105 of the California Building Code. (TCOC, Section 17.68.150)
3.	ED	Secure a Grading Permit from the Engineering Division of Department of Public Works (DPW) prior to any grading, excavating or earthmoving on the site or associated with this project (TCOC, Section 12.20.050).

LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

4.	LU	Development shall comply with the policy and regulation of the Tuolumne Utilities District and Jamestown Sanitary District for water and sewer utility service. (TCOC, Section 17.68.150)
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Conditions to be met prior to the issuance of a Grading Permit:

5.	ED	Grading Plan shall be submitted to the Engineering Division of the Department of Public Works for review and approval (TCOC, Section 12.20.140).
6.	ED/LU	An Encroachment Permit shall be obtained from the Engineering Division of the Department of Public Works for any work that may be proposed within the County Road right-of-way along Seco Street and/or Main Street (TCOC, Section 12.04).
7.	ED/LU	A parking area plan shall be submitted to the Engineering Division of DPW for review and acceptance. Plans shall address internal traffic circulation, parking stall layout and include necessary striping, marking, and signing. All parking areas and traveled ways on the site shall be paved, striped and lined in accordance with approved plans. The parking plan shall be submitted in connection with the site grading and drainage plans. (TCOC, Section 17.60.020 and Section 17.68.150)
8.	ED	A Drainage Plan shall be required (TCOC Sections 11.04.050E; 12.20.300-12.20.360; 16.26.180).
9.	ED	Prior to the construction of any site improvements or grading on the site, all property corners shall be monumented and clearly visible. Where a clear line of sight between lot corners is not possible, appropriate markers shall be set along the property line to mark the boundaries while construction is in progress (TCOC, Section 12.20).
10.	ED	The applicant shall submit an erosion control plan for any construction to take place (TCOC, Title 12).
11.	LU	Prior to earthmoving activities the applicant will need to contact the Tuolumne Me-Wuk Tribal Council to coordinate the presence of a Cultural Monitor on site while ground disturbance takes place (TCOC Section 17.68.150).

Conditions to be met prior to the issuance of a Building Permit:

12.	BD	This project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), and Chapters 11A and/or 11B of the California Building Code as applicable. (TCOC, Section 17.68.150)
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BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

13.	LU	Prior to the installation of any exterior lighting, a lighting plan shall be submitted to the Land Use and Natural Resources (LUNR) Division of CDD for review and approval. The lighting plan shall meet the following standards: direct the light downward to the area to be illuminated, install shields to direct light and reduce glare, utilize low rise light standards or fixtures attached to the buildings, and utilize low or high pressure sodium lamps or LED lighting instead of halogen type lights. The lighting plan shall comply with the International Dark Sky Association standards and fixtures shall have the International Dark Sky Fixture seal of approval. The Lighting Plan shall also comply with the Jamestown Design Guidelines and shall be directed downward, be energy-efficient, and should resemble historic fixtures and materials. (TCOC, Section 17.68.150)
14.	LU	Submit a Signage Plan to the LUNR Division of the CDD prior to the installation of any signage on site. The signage shall comply with all applicable provisions of Chapter 17.62 of the TCOC and the Jamestown Design Guidelines. (TCOC, Chapter 17.62)
15.	LU	Submit a landscaping plan with the building permit submittal consistent with the landscape plan as approved by Tuolumne County under the Site Development Permit and consistent with the Jamestown Community Plan. (TCOC, Chapter 15.28; Jamestown Community Plan)
16.	AG	All hay, straw, hay bales, straw bales, seed, mulch or other material used for erosion control or landscaping on the project site shall be free of noxious weed seeds and propagules. Noxious weeds are defined in Title 3, Division 4, Chapter 6, Section 4500 of the California Code of Regulations and the California Quarantine Policy - Weeds. (Food and Agriculture Code, Sections 6305, 6341 and 6461)
17.	AG	All equipment brought to the project site for construction shall be thoroughly cleaned of all dirt and vegetation prior to entering the site, in order to prevent importing noxious weeds. (Food and Agriculture Code, Section 5401)
18.	AG	All material brought to the site, including rock, gravel, road base, sand, and topsoil, shall be free of noxious weed seeds and propagules. Noxious weeds are defined in Title 3, Division 4, Chapter 6, Section 4500 of the California Code of Regulations and the California Quarantine Policy - Weeds. (Food and Agriculture Code, Sections 6305, 6341 and 6461)
19.	SW	All solid waste from demolition or construction activities shall be disposed of at facilities authorized by the County Board of Supervisors by Resolution 183-04, including the Cal Sierra Materials Recovery Facility (MRF), the Pinecrest Transfer Station, or the Groveland Transfer Station. Solid waste that is not accepted at these facilities may be

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ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
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		disposed of at an alternative facility that is permitted to receive the waste. (TCOC, Chapter 7.12)

Conditions to be met during the construction phase of the proposed project:

20.	BD	Hours of exterior construction on the project site shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Exterior construction shall be prohibited on Sunday and County holidays. (TCOC, Section 17.68.150)
21.	LU	Pursuant to the request of the Tuolumne Me-Wuk Tribal Council, a Tribal Monitor shall be present during any ground disturbance. Proof of correspondence with the Tribe shall be provided to CDD staff. (TCOC Section 17.68.150)
22.	ED/LU	Care should be taken to not disturb or damage any of the "Walk of Fame" medallions in the existing street sidewalk along the project frontage. If the sidewalk portion fronting the project must be demolished for reconstruction, and a "Walk of Fame" medallion is to be impacted, the medallion shall be re-incorporated in the nearest sidewalk portion possible to its original location, but not in a segment of sidewalk that constitutes a driveway. Confer with the Tuolumne County Public Works Department for field fitting guidance and care of the medallions.
23.	ED	All soils disturbed by clearing and grubbing and/or grading shall be reseeded or hydro-mulched or otherwise stabilized as soon as possible, and emergency erosion control measures shall be utilized as requested by County officials (TCOC, Title 12).
24.	ED	All parking areas and traveled ways on the site shall be paved (TCOC, Section 17.60.070 C).
25.	ED	Commercial driveways, meeting the requirements of Title 11 for onsite roads must be paved and extended to within 150 feet of all portions of all buildings (TCOC, Section 11.16.020). a. Encroachments shall require an encroachment detail plan submitted for review and approval.
26.	ED	Drainage improvements shall be installed in accordance with approved drainage plans. (TCOC Sections 11.04, 11.12, 16.26.180)
27.	ED/APCD	Exposed serpentine gravel is prohibited on the project site, unless exempted pursuant to the Tuolumne County Air Pollution Control District Rules and Regulations, Regulation IX, Rule 904 Section (F) or Rule 908 Section (C) or (0)(3). No person shall use, apply, sell, supply, or offer for sale or supply any restricted material (as defined in subsection (1)(20) of Rule 904) for surfacing, unless it has been tested and determined to have an asbestos

LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
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		content that is less than 0.25 percent. Any roadway including road shoulders or any surface that is subject to vehicular travel or pedestrian access must be completely covered with non-restricted material. (California Health and Safety Code, Sections 93105 and 93106)
28.	BD/ED	The contractor shall be responsible for dust abatement during construction and development operations. A water truck or other watering device shall be on the construction site on all working days when natural precipitation does not provide adequate moisture for complete dust control. Said watering device shall be used to spray water on the site at the end of each day and at all other intervals, as need dictates, to control dust. (TCOC, Section 12.20.370)
29.	LU	<p>If a cultural resource is discovered during the activities authorized by this Permit, the person in possession of the parcel for which the permit was issued and all persons conducting any activity authorized by this permit shall comply with the following provisions:</p> <ul style="list-style-type: none"> A. The person discovering the cultural resource shall notify the Community Development Department by telephone within 24 hours of the discovery or the next working day if the department is closed. B. When the cultural resource is located outside the area of disturbance, the Community Development Department shall be allowed to photo document and record the resource and construction activities may continue during this process. On parcels of two or more gross acres, the area of disturbance includes building pads, septic areas, driveways, or utility lines, grading and vegetation removal, plus 300 feet. On parcels of less than 2 gross acres, the area of disturbance equals the boundaries of the parcel. C. When the cultural resource is located within the area of disturbance, all activities that may impact the resource shall cease immediately upon discovery of the resource. All activity that does not affect the cultural resource as determined by the Community Development Department may continue. A qualified professional, as defined in Section 17.04.657 of the Tuolumne County Ordinance Code, such as an archaeologist or an historian, shall be allowed to conduct an evaluative survey to evaluate the significance of the cultural resource. D. When the cultural resource is determined to not be significant, the qualified professional or Community Development Department shall be allowed to photo document and record the resource. Construction activities may resume after authorization from the Community Development Department. E. When a resource is determined to be significant, the resource shall be avoided with said resource having boundaries established around

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		<p>its perimeter by a qualified professional archaeologist or historian or a cultural resource management plan shall be prepared by a qualified professional to establish measures formulated and implemented in accordance with Sections 21083.2 and 21084.1 of the California Environmental Quality Act (CEQA) to address the effects of construction on the resource. The qualified professional shall be allowed to photo document and record the resource. Construction activities may resume after authorization from the Community Development Department. All further activity authorized by this permit shall comply with the cultural resources management plan.</p> <p>A cultural resource is any building, structure, object, site, district, or other item of cultural, social, religious, economic, political, scientific, agricultural, educational, military, engineering or architectural significance to the citizens of Tuolumne County, the State of California, or the nation which is 50 years of age or older or has been listed on the National Register of Historic Places, the California Register of Cultural Resources, or the Tuolumne County Register of Cultural Resources. (TCOC, Section 14.10.150)</p>
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Conditions to be met prior to the Certificate of Occupancy by the Building and Safety Division of the Community Development Department:

30.	LU	The final project shall meet all requirements mandated by federal, state, or local law. Federal or state law may require additional obligations beyond those required by these conditions or local requirements, including additional analysis of environmental or other issues, over which the County has no control. (TCOC, Section 17.68.150)
31.	ED	Any grading shall be completed in compliance with the Grading Permit issued by and the grading plans approved by the Engineering Division of the DPW. (TCOC, Chapter 12.20)
32.	LU/BD	All construction on the site shall adhere to the site plan approved by Tuolumne County. Any significant deviation from the plans shall require approval of supplemental plans submitted by the property owner. (TCOC, Section 17.68.150)
33.	LU	Exterior lighting shall conform to the lighting plan approved by the Community Development Department. (TCOC, Section 17.68.150)
34.	ED	Verify that a Road and/or Public Utility Easement a minimum of 25 feet in width from the existing centerline of Seco Street as it abuts the project property has been dedicated. (TCOC, Section 17.68.150)
35.	EH	A valid permit to operate a food facility shall be issued by the

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		Environmental Health Division of the Community Development Department prior to the operation of any proposed food facility. (CHSC Part 7, Section 114381)
36.	LU	A site inspection will be conducted by Community Development Division personnel to verify compliance with the conditions listed above. (TCOC, Section 17.68.150)

On-Going Conditions:

37.	EH	All storage and removal of refuse, rubbish, and recyclables shall be in compliance with the requirements specified in TCOC, Chapter 8.05 and CCR Title 14 and Title 27. (TCOC, Chapter 8.05)
38.	SW	Excepting disruptions in normal refuse collection schedules, refuse shall not be allowed to remain on the premises for more than seven days unless it is satisfactorily composted, used as animal food, used as soil amendments, or some other beneficial use provided such use does not create a nuisance. (TCOC, Section 8.05.035)
39.	SW	Persons hauling solid waste from their residence or solid waste produced in the course of their own business (including building contractors) are required to deliver solid waste only to facilities identified and authorized by the Tuolumne County Board of Supervisors by Resolution, including the Cal Sierra Transfer Station, the Pinecrest Transfer Station, or the Groveland Transfer Station. (TCOC, Section 7.12.050)
40.	SW	If a business located on the project site generates more than four (4) cubic yards of solid waste per week, recycling is required, even if this quantity of generation happens only occasionally. Recycling can include subscribing to recycling service provided by the franchise hauler of the collection area, self-hauling recyclables to a recycling center, or donating recyclables to a charitable cause. Space shall be included on the project site for recycling and garbage receptacles. (Natural Resources, Division 7, Chapter 9.1, Sections 18835- 18837)
41.	EH	The handling, use or storage of hazardous materials on-site both in construction and operation of the facility shall be in compliance with Chapter 13.24 of the Tuolumne County Ordinance Code, Chapter 6.95 of the California Health and Safety Code, and Title 19 of the California Code of Regulations. The handling, storage or use of hazardous materials, above threshold quantities, shall be permitted by the Tuolumne County Environmental Health Division, Certified Unified Program Agency (CUPA). (TCOC, Chapter 13.24, CHSC, Chapter 6.95, and CCR, Title 19)

LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
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BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

42.	EH	All persons selling, preparing, delivering, or serving food or beverages shall comply with all applicable provisions of the California Retail Food Code. (TCOC, Section 17.220(C)(16))								
43.	LU	<p>The noise levels generated by the project shall be restricted to the following exterior noise limits as measured at the property line as</p> <table border="1"> <thead> <tr> <th rowspan="2">Zoning Classification of Receiving Property</th><th colspan="2">Noise Level (dB) of Sound Source</th></tr> <tr> <th>Daytime (7 a.m. to 10 p.m.)</th><th>Nighttime (10 p.m. to 7 a.m.)</th></tr> </thead> <tbody> <tr> <td>MU, R-3, R-2, R-1, RE-1, RE-2, RE-3, RE-5, RE-10, C-O, C-1, C-S, BP</td><td>50 L_{eq}. (1 hour)¹</td><td>45 L_{eq}. (1 hour)¹</td></tr> </tbody> </table> <p>follows:</p> <p>¹L_{eq}. 1 hour refers to the average noise level measured over a one hour period. (TCOC, Section 17.68.150)</p>	Zoning Classification of Receiving Property	Noise Level (dB) of Sound Source		Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)	MU, R-3, R-2, R-1, RE-1, RE-2, RE-3, RE-5, RE-10, C-O, C-1, C-S, BP	50 L _{eq} . (1 hour) ¹	45 L _{eq} . (1 hour) ¹
Zoning Classification of Receiving Property	Noise Level (dB) of Sound Source									
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MU, R-3, R-2, R-1, RE-1, RE-2, RE-3, RE-5, RE-10, C-O, C-1, C-S, BP	50 L _{eq} . (1 hour) ¹	45 L _{eq} . (1 hour) ¹								
44.	LU	All signage shall comply with Chapter 17.62 of the Tuolumne County Ordinance Code. (TCOC, Section 17.68.150)								
45.	LU	Fuel oil shall not be used as a heating source. (TCOC, Section 17.68.150)								

MONITORING PROVISION: A Notice of Action shall be recorded for Conditions 1 through 44 to notify all owners of this parcel of the conditions of this entitlement and these responsibilities. Any violations observed by the Community Development Department and Department of Public Works during regular site inspections or in response to complaints shall be referred to the agency having jurisdiction over the condition for resolution or referred to the Code Compliance Officer for enforcement. (PRC, Section 21081.6; TCOC Section 17.68.150)

LU = Land Use & Natural Resources	SUR = Surveying Division	EH = Environmental Health Division
ED = Engineering Development Division	FPD = Fire Prevention Division	SW = Solid Waste
BD = Building and Safety Division	APCD = Air Pollution Control District	AG = Agricultural Commissioner

California Department of Transportation

OFFICE OF THE DISTRICT 10 PLANNING
P.O. BOX 2048 | STOCKTON, CA 95201
(209) 948-7325 | FAX (209) 948-7164 TTY 711
www.dot.ca.gov



January 3, 2022

Ms. Cheydi Gonzales
Land Use Coordinator
Tuolumne County Community
Development Department
2 South Green Street
Sonora, CA 95370

TUO-49-PM 14.554
Zone Change RZ21-013
Site Development Permit SDP21-007
Conditional Use Permit CUPH21-002
John Gray

Dear Ms. Gonzales,

The California Department of Transportation (Caltrans) appreciates the opportunity to review and comment on the application for Zone Change RZ21-013 to rezone a 0.19± acre parcel from General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining (C-1:D:H:HDP:MX) to Mixed Use: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining (M-U:D:H:HDP:MX) district under Title 17 of the Tuolumne County Ordinance Code. Site Development Permit SDP21-007, and Historic Conditional Use Permit CUPH21-002 restore the exterior façade of the existing gas station building, construct a new standalone bathroom building containing two accessible bathrooms, restore exterior façade of existing bathroom building for storage use, demolish existing wooden barn and construct three stall parking area, remove existing asphalt and concrete surfacing between gas station and main street, and construct new concrete surface.

The project is located at 18223 Main Street in the community of Jamestown. It is approximately 1200 feet from State Route (SR) 49/108 and Main Street intersection, on Assessor Parcel Number (APN) 003-112-006.

Caltrans has the following comments:

- Caltrans would like to request any CEQA Environmental documents that you may have for the Zone Change RZ21-013, Site Development Permit SDP21-007 and Historic Conditional Use Permit CUPH21-002.

An Encroachment Permit will be required for work (if any) done within Caltrans' right of way (ROW). This work is subject to the California Environmental Quality Act. A qualified professional must conduct any such studies undertaken to satisfy Caltrans' environmental review responsibilities. Ground disturbing activities to the site prior to

completion and/or approval of required environmental documents may affect Caltrans' ability to issue a permit for the project. Furthermore, if engineering plans or drawings will be part of the permit application, they should be prepared in standard units. The project proponent shall submit an Encroachment Permit to the Caltrans District 10 Encroachment Permit Office. Appropriate environmental studies must be submitted with the application. For more information please visit the Caltrans Website at: <https://dot.ca.gov/programs/traffic-operations/ep/applications>

If you have any questions or concerns, please contact Michael Casas at (209) 986-9830 (email: Michael.Casas@dot.ca.gov) or me at (209) 483-7234 (email: Gregoria.Ponce@dot.ca.gov).

Sincerely,

Gregoria Ponce'

Gregoria Ponce', Chief
Office of Rural Planning

Location: The project site is located at 18211 Main Street in the community of Jamestown approximately 20± feet northeast of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

Access: Main Street/Seco Street

Sewage Disposal Method: Public Sewage Disposal System

Water Source: Public Water System

Fire Hazard Rating: Moderate

Please return your comments by **January 5, 2022**. Please note that email is the preferred method of communication.

Staff Contact: Cheydi Gonzales
(209) 533-6641
cgonzaless@co.tuolumne.ca.us

AGENCY: Tuolumne Heritage Committee

COMMENTS: If the barn proposed to be demolished is in
excess of 50 years old, the Demolition Committee of the
TCHPRC needs to review the application. Please refer to
Jamestown Design Guidelines in reviewing this project.

All property owners within 300 feet of the proposed project and agencies/organizations will be notified of future public hearings. Property owners do not need to request future notification.

Signed by: Shawn M. [Signature] 1/2/22
Tuolumne Heritage Committee

Location: The project site is located at 18211 Main Street in the community of Jamestown approximately 20± feet northeast of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

Access: Main Street/Seco Street

Sewage Disposal Method: Public Sewage Disposal System

Water Source: Public Water System

Fire Hazard Rating: Moderate

Please return your comments by **January 5, 2022**. Please note that email is the preferred method of communication.

Staff Contact: Cheydi Gonzales
(209) 533-6641
cgonzales@co.tuolumne.ca.us

AGENCY: JAMESTOWN SANITARY DISTRICT

COMMENTS: _____

AS NOTED IN ITEM 2.

THE JAMESTOWN SANITARY DISTRICT HAVE NOT RECEIVED
ANY PRELIMINARY PLANS OR INFORMATION & N
PROVIDING NEW SEWER SERVICE TO SITE FOR
JSD APPROVAL.

THANK YOU.

NOTE: RECEIVED THIS ON 01-04-2022. WE CAN ACCEPT VIA EMAIL.

All property owners within 300 feet of the proposed project and agencies/organizations will be notified of future public hearings. Property owners do not need to request future notification.

Signed by _____

Petragi Gonzales DISTRICT MANAGER

RECEIVED

JAN 04 2022

JAMESTOWN
SANITARY DISTRICT

Agency: JAMESTOWN SANITARY DISTRICT

Date: 01-04-2022

S:\Planning\PROJECTS\Site Development Permit\2021\SDP21-007 (CUPH21-002) Gray\Application Review\Stakeholder Notification.docx



TUOLUMNE ME-WUK TRIBAL COUNCIL

Post Office Box 699

TUOLUMNE, CALIFORNIA 95379

Telephone (209) 928-5300

Fax (209) 928-1677

January 4, 2022

Cheydi Gonzales
Tuolumne County Community Development Department
48 Yaney Avenue
Sonora, CA 95370

RE: Zone Change RZ21-013

Site Development Permit SDP21-007

Historic Conditional Use Permit CUPH21-002

Assessor's Parcel Number: 003-112-006

RECEIVED
JAN 11 2022
Community Development
Department

Dear Ms. Gonzales,

We are in receipt of your communication dated December 22nd, 2021 regarding the above referenced project. Upon reviewing said documentation we do have some concerns regarding how the project will tie into the existing infrastructure and if updates to that system could cause ground disturbance. I would also like to introduce our new Cultural Resource Manager Kyle Cox. He can be reached by email at: kyle@mewuk.com or by phone: 209.928.5300.

Thank you for keeping us updated.

Best regards,

Andrea Reich

Chairwoman

Cheydi Gonzales

From: Cheydi Gonzales
Sent: Tuesday, January 11, 2022 1:30 PM
To: Kyle Cox
Subject: RE: RZ21-013/SDP21-007/CUPH21-002

Greetings Kyle,

There is not a start date for this project. I am currently reviewing this project through the appropriate permitting process per ordinance code. This project would need to be reviewed by the Historic Preservation Review Commission (as a recommending body), then be reviewed by the Tuolumne County Board of Supervisors and the Board of Supervisors.

It may be possible to condition the permit to meet this request. I will make note of the request and will continue to work with you on this matter.

Thank you,

Cheydi Gonzales, Land Use Coordinator

Land Use and Natural Resources Division
Tuolumne County Community Development Department
48 Yaney Avenue
Sonora, CA. 95370
Email: cgonzales@co.tuolumne.ca.us
Website: <https://www.tuolumnecounty.ca.gov/179/Planning>
Phone: (209) 533-6641

From: Kyle Cox <kyle@mewuk.com>
Sent: Thursday, January 6, 2022 3:54 PM
To: Cheydi Gonzales <cgonzales@co.tuolumne.ca.us>
Subject: RE: RZ21-013/SDP21-007/CUPH21-002

Good afternoon,

Thank you for the updated information. We would like to have one of our Cultural monitors at the project site when the ground disturbance takes place. Is there a start date for the project yet?

Regards,

Kyle Cox, Cultural Resource Manager
Tuolumne Me-Wuk Tribal Council
19595 Mi-Wu Street
Tuolumne, CA, 95379

From: Cheydi Gonzales <cgonzales@co.tuolumne.ca.us>
Sent: Thursday, January 6, 2022 1:10 PM
To: Kyle Cox <kyle@mewuk.com>
Subject: RE: RZ21-013/SDP21-007/CUPH21-002

Greetings Kyle,



Cooperative Fire Protection Services

In Partnership with **CAL FIRE** Since 1977

Proudly serving the County of Tuolumne, Jamestown, Groveland and Columbia College

Nick Casci, County Fire Chief
Andrew Murphy, Assistant County Fire Chief

18440 Striker Ct. • Sonora, CA 95370
Tel: (209) 533-5100 • Fax: (209) 533-5103

January 7, 2022

To: Cheydi Gonzales, LUNR

From: Steve Gregory, Senior Fire Inspector

Re: Gray SDP-007
APN 003-112-006

After reviewing the above application, I offer the following comments:

Fire Prevention has no comment on SDP21-007 as proposed.

If you have any questions or concerns, please feel free to contact me.

Building and Safety Conditions for SDP21-007

1. This project must comply with all applicable provisions of the Americans with Disabilities Act (ADA), and Chapters 11A and/or 11B of the California Building Code as applicable.
2. Building Permits are required for all Non-Exempt structures being constructed on this project site pursuant to Section 105 of the California Building Code.
3. Hours of construction on the project site shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction shall be prohibited on Sunday and County holidays. Exceptions to these hours this condition may be authorized by the Community Resources Director. (TCOC, Sections 12.20.380 and 17.68.150)



Department of Public Works

Kim MacFarlane, P.E.
Director

48 W. Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
209.533.5601
www.tuolumnecounty.ca.gov

MEMORANDUM

Date: December 17, 2021

To: Cheydi Gonzales, Planner

From: David Ruby, Engineer

Re: RZ21-013 / SDP21-007 / CUPH21-002, Gray
Assessor's Parcel No.: 003-112-006

AIRPORTS
Airports Manager
Benedict Stuth
209.533.5685

BUSINESS
Senior Accountant
Janelle Kostlivy
209.533.5972

ENGINEERING
Supervising Engineer
Blossom Scott-Heim, P.E.
209.533.5904

FLEET SERVICES
Fleet Services Manager
Mike Young
209.536.1622

**GEOGRAPHIC
INFORMATION
SYSTEMS**
GIS Coordinator
Madeline Amlin
209.533.6592

ROAD OPERATIONS
Road Superintendent
Mike Cognetti
209.533.5609

SOLID WASTE
Solid Waste Manager
Jim McHargue, REHS
209.533.5588

SURVEYING
County Surveyor
Warren Smith, L.S.
209.533.5626

This project seeks to rezone an existing parcel within the Jamestown Historic Design Review area from C:1:D:H:HDP:MX to M-U:D:H:HDP:MX as action RZ21-013, as well as SDP21-007 and CUPH21-002, covering an exterior façade remodel of an existing gas station building and outbuilding, along with the construction of a new restroom outbuilding, demolition of an existing wood barn, and construction of a new paved parking lot area, with associated sitework improvements (sidewalks, landscaping, fencing, and water, sewer, and electrical services, etc.). An encroachment onto Seco Street is proposed for the new parking lot, which may require use or modification in part of an existing commercial-type driveway currently existing in the street sidewalk along Seco Street. The existing street sidewalk along the frontage has a commercial-type driveway depression constructed in it at its eastern end, which should be widened as required to provide the full width of the commercial driveway throat, and another aligning with an existing gate nearer the gas station building, which should be sawcut and removed, to delete the implied driveway along that portion of frontage. The proposed parking lot area should conform to the geometric requirements of the Tuolumne County Ordinance Code Sections 11.12 and 11.16, including provision of asphaltic concrete surfacing.

The following conditions apply to this Site Development Permit:

1. A Grading Plan shall be submitted to the Engineering Division of the Department of Public Works for review and approval (TCOC, Section 12.20.140).
2. A Grading Permit shall be obtained from the Engineering Division of the Department of Public Works prior to any grading (TCOC, Section 12.20.050).
3. A Drainage Plan shall be required (TCOC Sections 11.04.050E; 12.20.300-12.20.360; 16.26.180).
4. An Encroachment Permit shall be obtained from the Engineering Division of the Department of Public Works for any work that may be proposed within the County road right-of-way along Seco Street and/or Main Street (TCOC, Section 12.04).
5. A Parking Area Plan (TCOC, Sections 17.68.150; 17.60).
 - a. The parking area plan shall be submitted to the Engineering Division of the Department of Public Works for review and acceptance. Plans shall address internal traffic circulation, parking stall layout and include necessary striping, marking and signing. All parking areas and traveled ways on the site shall be paved, striped and lined in

accordance with approved plans. The parking plan shall be submitted in connection with the site grading and drainage plans.

6. Prior to the construction of any site improvements or grading on the site, all property corners shall be monumented and clearly visible. Where a clear line of sight between lot corners is not possible, appropriate markers shall be set along the property line to mark the boundaries while construction is in progress (TCOC, Section 12.20).
7. All soils disturbed by clearing and grubbing and/or grading shall be reseeded or hydro-mulched or otherwise stabilized as soon as possible, and emergency erosion control measures shall be utilized as requested by County officials (TCOC, Title 12).
8. The applicant shall submit an erosion control plan for any construction to take place (TCOC, Title 12).
9. All parking areas and traveled ways on the site shall be paved (TCOC, Section 17.60.070 C).
10. Commercial driveways, meeting the requirements of Title 11 for onsite roads must be paved and extended to within 150 feet of all portions of all buildings (TCOC, Section 11.16.020).
 - a. Encroachments shall require an encroachment detail plan submitted for review and approval.
11. Drainage improvements shall be installed in accordance with approved drainage plans. (TCOC Sections 11.04, 11.12, 16.26.180)
12. Exposed serpentine gravel is prohibited on the construction site. (17 California Code of Regulations, Section 93106)
13. The Contractor shall be responsible for dust abatement during construction and development operations. A water truck or other watering device shall be on the project site on all working days when natural precipitation does not provide adequate moisture for complete dust control. Said watering device shall be used to spray water on the site at the end of each day and at other intervals, as need dictates, to control dust (TCOC, Section 12.20.370).
14. Verify that a Road and/or Public Utility Easement a minimum of 25 feet in width from the existing centerline of Seco Street as it abuts the project property has been dedicated. (TCOC, Section 17.68.150)
15. Care should be taken to not disturb or damage any of the "Walk of Fame" medallions in the existing street sidewalk along the project frontage. If the sidewalk portion fronting the project must be demolished for reconstruction, and a "Walk of Fame" medallion is to be impacted, the medallion shall be re-incorporated in the nearest sidewalk portion possible to its original location, but not in a segment of sidewalk that constitutes a driveway. Confer with the Tuolumne County Public Works Department for field fitting guidance and care of the medallions.



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

Date: December 22, 2021
To: Interested Stakeholder
From: Tuolumne County Community Development Department
RE:
Zone Change RZ21-013
Site Development Permit SDP21-007
Historic Conditional Use Permit CUPH21-002
Assessor's Parcel Number: 003-112-006

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 533-5616 (Fax)
(209) 533-5909 (Fax – EHD)
www.tuolumnecounty.ca.gov

The Community Development Department thanks you for your participation in the land development process in Tuolumne County. We value your comments and look forward to your continued participation in our planning process. This process provides information on your requirements and concerns to the applicant early in the review process. Involvement on your part can eliminate or minimize problems that could arise later.

Property Owner: John Gray

Applicant: Reuben Chirnside, Agent/Project Engineer
Land and Structure
105 South Stewart Street
Sonora, CA. 95370
209-532-5173

Project: The Community Development Department (CDD) has received an application for the following:

1. Zone Change RZ21-013 to rezone a 0.19± acre parcel from C-1:D:H:HDP:MX (General Commercial: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) to M-U:D:H:HDP:MX (Mixed Use: Design Review: Historic: Historic Design Preservation: Mobilehome Exclusion Combining) district under Title 17 of the Tuolumne County Ordinance Code.
2. Site Development Permit SDP21-007 and Historic Conditional Use Permit CUPH21-002 restore the exterior façade of the existing gas station building, construct a new stand alone bathroom building containing two accessible bathrooms, restore exterior façade of existing bathroom building for storage use, demolish existing wooden barn and construct three stall parking area, remove existing asphalt and concrete surfacing between gas station and main street and construct new concrete surface, construct new concrete patio being gas station and accessible pathway to parking area, install new landscaping at the intersection of Main Street and Seco Street and install perimeter fencing as shown on site plan. Provide new water, sewer and electrical service to the site. A section of the center of the property is to be left as a gravel surface pending future development.

Location: The project site is located at 18211 Main Street in the community of Jamestown approximately 20± feet northeast of the intersection of Main Street and Seco Street. The project site is within a portion of Section 10, Township 1 North, Range 14 East, Mount Diablo Baseline and Meridian, and within Supervisorial District 5. Assessor's Parcel Number 003-112-006.

Access: Main Street/Seco Street

Sewage Disposal Method: Public Sewage Disposal System

Water Source: Public Water System

Fire Hazard Rating: Moderate

Please return your comments by **January 5, 2022**. Please note that email is the preferred method of communication.

Staff Contact: Cheydi Gonzales
(209) 533-6641
cgonzaless@co.tuolumne.ca.us

AGENCY: Tuolumne County Environmental Health Division

COMMENTS: There are no applicable Environmental Health conditions for the proposed project as the parcel has existing connections to public utilities for both water and sewer.

All property owners within 300 feet of the proposed project and agencies/organizations will be notified of future public hearings. Property owners do not need to request future notification.

Signed by: Nadine Martelli

Agency: Tuolumne County Environmental Health Division

Date: 2/2/2022

S:\Planning\PROJECTS\Site Development Permit\2021\SDP21-007 (CUPH21-002) Gray\Application Review\Stakeholder Notification.docx



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

UNAPPROVED

TUOLUMNE COUNTY

PLANNING COMMISSION MEETING

MINUTES

September 7, 2022

PRESENT: Chair Jerry Morrow, Vice-Chair Linda Emerson and Commissioners Mike Gustafson, Jim Jordan, Catherine Santa Maria

ABSENT: Commissioner Kara Bechtle and Larry Beil

STAFF: Quincy Yaley, CDD Director; Dave Ruby, Planning Manager; Natalie Rizzi, Senior Planner; Taryn Vanderpan, Administrative Technician

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 533-5616 (Fax)
(209) 533-5909 (Fax – EHD)
www.tuolumnecounty.ca.gov

* * * * *

CALL TO ORDER/WELCOME:

Chair Morrow called the meeting of September 7, 2022 to order at 6:00 p.m. and led the Commission and audience members in the Pledge of Allegiance.

Dave Ruby, Planning Manager, indicated that there was a quorum.

PLANNING COMMISSION BUSINESS:

- 1. Adopting Resolution TCPC2022-007, authorizing remote teleconference meetings of TCPC for the period of September 7, 2022, to October 7, 2022.**

It was moved by Commissioner Gustafson and seconded by Commissioner Emerson to approve Resolution PC2022-007, authorizing remote teleconference meetings for TCPC for the period of September 7, 2022, to October 7, 2022.

Staff roll called for the vote:

Chair Morrow: No
Vice-Chair Emerson: Aye
Commissioner Gustafson: Aye
Commissioner Santa Maria: No
Commissioner Bechtle: Absent
Commission Jordan: No
Commissioner Beil: Absent

Chair Morrow called for the vote. 2; Ayes, 3; Noes, 0; Abstain

Motion failed: 4 – 2 – 0 With Chair Morrow and Commissioners Jordan and Santa Maria voting no and Commissioners Bechtle and Beil being absent.

It was moved by Commission Gustafson and seconded by Commissioner Emerson to approve Resolution PC2022-007, authorizing remote teleconference meetings for TCPC for the period of September 7, 2022, to October 7, 2022.

Staff roll called for the vote:

Chair Morrow: No
Vice-Chair Emerson: Aye
Commissioner Gustafson: Aye
Commissioner Santa Maria: Aye
Commissioner Bechtle: Absent
Commission Jordan: No
Commissioner Beil: Absent

Chair Morrow called for the vote. 3; Ayes, 2; Noes, 0; Abstain

Motion carried: 3 – 2 – 0 with Chair Morrow and Commissioner Jordan voting no and Commissioner Bechtle and Beil being absent.

2. Reports

**** Reports are a brief oral report from a Committee or Commission member and/or County staff, and no Committee or Commission action will occur. This item is not intended to include in depth presentations or reports, as those matters should be placed on an agenda for discussion****

Quincy Yaley, Community Development Department Director, gave a report on the Land Use and Natural Resources staffing.

3. Report from the Board of Supervisors Planning Committee Representative

Commissioner Jordan noted there was not meeting; therefore, there was nothing to report.

4. Report from the Agricultural Advisory Committee Representative

Commissioner Bechtle was absent; therefore, there was nothing to report.

5. Minutes of the meeting of August 17, 2022

It was moved by Commissioner Santa Maria and seconded by Chair Morrow to approve the minutes of August 17, 2022, as presented.

Staff roll called for the vote:

Chair Morrow: Aye
Vice-Chair Emerson: Aye
Commissioner Gustafson: Aye
Commissioner Santa Maria: Aye
Commissioner Bechtle: Absent
Commission Jordan: Aye
Commissioner Beil: Absent

Chair Morrow called for the vote. 5; Ayes, 0; Noes, 0; Abstain

Motion carried: 5– 0 – 0 With Commissioners Beil and Bechtle being absent.

NEW BUSINESS:

1. Discussion on returning to in person meetings.

Ms. Yaley discussed the options available for future meetings.

It was moved by Commissioner Jordan and seconded by Chair Morrow to return to in-person Tuolumne County Planning Commission meetings.

Staff roll called for the vote:

Chair Morrow: Aye
Vice-Chair Emerson: No
Commissioner Gustafson: No
Commissioner Santa Maria: No
Commissioner Bechtle: Absent
Commission Jordan: Aye
Commissioner Beil: Absent

Chair Morrow called for the vote. 2; Ayes, 3; Noes, 0; Abstain

Motion failed: 2– 3 – 0 With Vice-Chair Emerson and Commissioners Santa Maria and Gustafson voting no and Commissioners Beil and Bechtle being absent.

It was moved by Commissioner Gustafson and seconded by Vice-Chair Emerson to hold hybrid Tuolumne County Planning Commission meetings.

Staff roll called for the vote:

Chair Morrow: Aye
Vice-Chair Emerson: Aye
Commissioner Gustafson: Aye
Commissioner Santa Maria: Aye
Commissioner Bechtle: Absent
Commission Jordan: Aye
Commissioner Beil: Absent

Chair Morrow called for the vote. 5; Ayes, 0; Noes, 0; Abstain

Motion carried: 5– 0 – 0 With Commissioners Bechtle and Beil being absent.

PUBLIC COMMENT:

Chair Morrow opened the 15-minute public comment period, during which anyone wishing to could come forward and address the Commission on any item not on the Agenda. Seeing no one, he closed the public comment period.

PUBLIC HEARING:

- 1. PRIETO**, Ordinance for Zone Change RZ21-007 to rezone a 0.97± acre parcel from RE-1 (Residential Estate, One Acre Minimum) to C-1 (General Commercial) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

The project is located at 13232 Mono Way, northeast of the intersection of Mono Way and State Highway 108 in Sonora. Within a portion of Section 5, Township 1 North, Range 15 East, Mount Diablo Baseline and Meridian and Within Supervisorial District 1. Assessor's Parcel Number 056-210-034.

Natalie Rizzi, Senior Planner, gave a PowerPoint Presentation on the proposed projects location and description.

Chair Morrow asked if the Commission had any questions. Seeing no one, he opened the public comment period and asked if there was anyone who wished to speak on the proposed project.

There were two members of the public who spoke on the proposed project and asked the Commission for approval.

Chair Morrow asked if there was anyone else who wished to speak on the proposed project. Seeing no one, he closed the public comment period and referred the item back to the Commission.

It was moved by Commissioner Santa Maria and seconded by Commissioner Gustafson to recommend approval of RZ21-007 based on Findings A through D.

Staff roll called for the vote:

Chair Morrow: Aye
Vice-Chair Emerson: Aye
Commissioner Gustafson: Aye
Commissioner Santa Maria: Aye
Commissioner Bechtle: Absent
Commission Jordan: Aye
Commissioner Beil: Absent

Chair Morrow called for the vote. 5; Ayes, 0; Noes, 0; Abstain

Motion carried: 5– 0 – 0 With Commissioners Beil and Bechtle being absent.

2. WESTMORELAND, Ordinance for Zone Change RZ21-009 to rezone a 10.18± acre parcel from A-10 (General Agricultural, Ten Acre Minimum) to RE-5 (Residential Estate, Five Acre Minimum) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

The project site is located at 16508 Anderson Drive, approximately 1,000 feet west of the intersection of Yosemite Road and Anderson Dive. Within a portion of Section 13, Township 1 North, Range 15 East, Mount Diablo Baseline and Meridian. Within Supervisorial District 3. Assessor's Parcel Number 096-130-003.

Natalie Rizzi, Senior Planner, gave a PowerPoint presentation on the proposed project location and description.

Chair Morrow asked if the Commission had any questions for staff.

Chair Morrow asked where the bulb entrance was located on the Site Plan.

Staff reviewed the Site Plan with the Commission.

Chair Morrow opened the public comment period and asked if there was anyone who wished to speak on the proposed project.

There were three members of the public who spoke on the proposed project and asked the Commission for approval.

It was moved by Chair Morrow and seconded by Commissioner Jordan to recommend approval of Rezone RZ21-009 based on Findings A through D.

Staff roll called for the vote:

Chair Morrow: Aye
Vice-Chair Emerson: Aye
Commissioner Gustafson: Aye
Commissioner Santa Maria: Aye
Commissioner Bechtle: Absent
Commission Jordan: Aye
Commissioner Beil: Absent

Chair Morrow called for the vote. 5; Ayes, 0; Noes, 0; Abstain

Motion carried: 5– 0 – 0 With Commissioners Beil and Bechtle being absent.

- 3. PEREZ**, Ordinance for Zone Change RZ22-004 to rezone a 20.08± acre parcel from RE-5 (Residential Estate, Five Acre Minimum) to A-10 (General Agriculture, Ten Acre Minimum) in advance of a Lot Line Adjustment (LLA) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

The project site is located along Lyons Bald Mountain Road. Within a portion of Section 21, Township 2 North, Range 156 East, Mount Diablo Baseline and Meridian. Within Supervisorial District 1. Assessor's Parcel Numbers (APN) 085-010-068.

Dave Ruby, Planning Manager, gave a PowerPoint presentation on the proposed project location and description.

Chair Morrow asked if the Commission had any questions for staff. Seeing no one, he opened the public comment period and asked if there was anyone who wished to speak on the proposed project.

A member of the public spoke on the proposed project and asked the Commission for approval.

Chair Morrow asked if there was anyone else who wished to speak on the proposed project. Seeing no one, he closed the public comment period and referred the item back to the Commission.

It was moved by Commissioner Jordan and seconded by Commissioner Emerson to recommend approval of RZ22-004 based on Findings A through D.

Staff roll called for the vote:

Chair Morrow: Aye
Vice-Chair Emerson: Aye
Commissioner Gustafson: Aye
Commissioner Santa Maria: Aye
Commissioner Bechtle: Absent
Commission Jordan: Aye

Commissioner Beil: Absent

Chair Morrow called for the vote. 5; Ayes, 0; Noes, 0; Abstain

Motion carried: 5– 0 – 0 With Commissioners Beil and Bechtle being absent.

ADJOURNMENT:

Chair Morrow adjourned the meeting.

Respectfully,

Quincy Yaley, AICP
Community Development Department Director

QY:tv

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